

HARLEY CLARKE MANSION

2603 SHERIDAN ROAD
EVANSTON, IL 60201

CLIENT/OWNER
CELADON CONSTRUCTION CORPORATION NFP

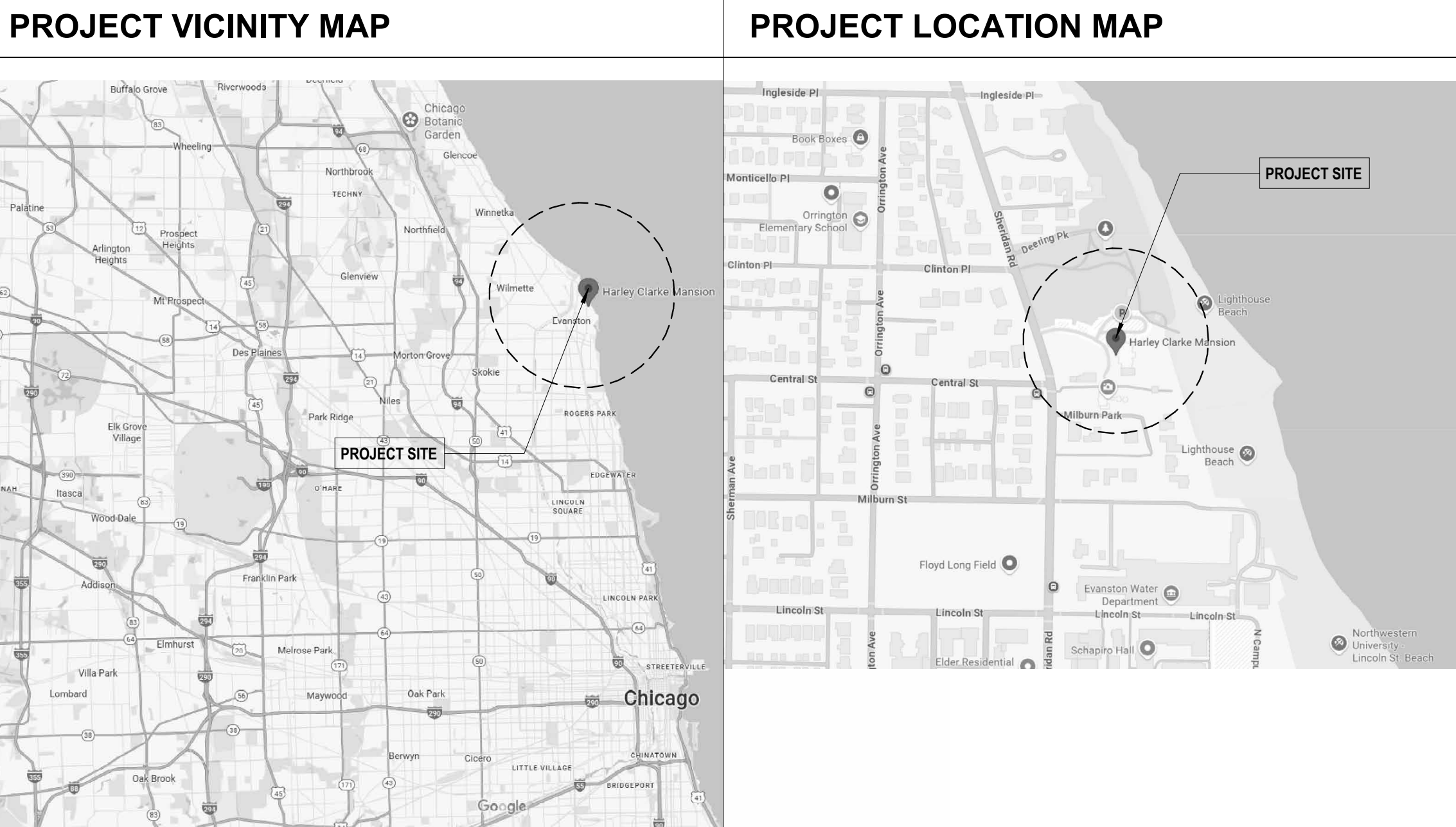
ISSUE FOR CERTIFICATE OF APPROPRIATENESS

AUGUST 17, 2026

PROJECT NUMBER 250401



APPLICABLE CODES	SCOPE OF WORK
BUILDING CODE: 2021 INTERNATIONAL BUILDING CODE (IBC) 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) MECHANICAL CODE: 2021 INTERNATIONAL MECHANICAL CODE (IMC) ELECTRICAL CODE: 2020 NFPA NATIONAL ELECTRIC CODE (NEC) LIFE SAFETY CODE: 2021 NFPA LIFE SAFETY CODE 101 ACCESSIBILITY: 2018 ILLINOIS ACCESSIBILITY CODE ENERGY AND ENVIRONMENTAL CONSERVATION: 2023 ILLINOIS STRETCH ENERGY CODE PLUMBING CODE: 2014 ILLINOIS PLUMBING CODE (IPC) FIRE CODE: 2021 INTERNATIONAL FIRE CODE (IFC)	DEMOLITION: SELECTIVE DEMOLITION AS INDICATED IN THE PLANS TO ACCOMMODATE THE NEW WORK. NEW CONSTRUCTION: THE PROPOSED NEW WORK CONSISTS OF THE FOLLOWING: - LEVEL 1 - THE REHABILITATION OF HISTORIC SPACES TO ACCOMMODATE THE NEW USE AS A RESTAURANT, THE ADDITION OF A RETAIL SPACE, AND THE ADDITION OF A NEW COMMERCIAL KITCHEN AND OUTDOOR TERRACE. - LEVEL 2 - RESTAURANT, AUXILIARY KITCHEN, BRIDAL SUITE. - LEVEL 3 - RESTAURANT, AUXILIARY KITCHEN, STORAGE. - LEVEL 0 - RECONFIGURATION OF MECHANICAL AREAS, THE ADDITION OF A NEW SPEAKEASY BAR SPACE, AND THE ADDITION OF A NEW COMMERCIAL KITCHEN.
	BUILDING SUMMARY
	GROSS FLOOR AREA LEVEL 0: 5,647 SF LEVEL 1: 7,425 SF LEVEL 2: 5,301 SF LEVEL 3: 3,172 SF TOTAL: 21,546 SF



ZONING INFORMATION	PROJECT NOTICES
	NOTICE TO EXCAVATORS: JULIE BEFORE YOU DIG 811 OR (800) 882-0123 ON WEDNESDAY CALL 2 BUSINESS DAYS PRIOR TO DIGGING

SHEET NUMBER	SHEET NAME	2026.06.01 HISTORIC TAX CREDIT	2026.08.17 CERTIFICATE OF APPROPRIATENESS
00 - GENERAL			
G0.00	COVER SHEET		•
G0.01	GENERAL PROJECT INFO, NOTES & DIAGRAMS		•
G1.00	CODE MATRIX		
G1.10	FIRE DEPARTMENT SITE PLAN APPROVAL		
G1.20	LIFE SAFETY & PLUMBING CALCULATIONS - LEVELS 00 & 01		
G1.21	LIFE SAFETY & PLUMBING CALCULATIONS - LEVELS 02 & 03		
G1.22	LIFE SAFETY - ROOF LEVEL & STRUCTURAL ELEMENTS FIRE RESISTANCE PLANS AND SECTION		
G2.00	ACCESSIBILITY DIAGRAMS AND MATRIX		
G2.10	ACCESSIBILITY DIAGRAMS		
G2.11	ACCESSIBILITY DIAGRAMS		
G3.00	MOUNTING HEIGHT DIAGRAMS		
G4.00	LIGHT AND VENT DIAGRAMS		
G5.00	3D VIEWS FOR REFERENCE ONLY		
02 - LANDSCAPE			
L2.00	SITE PREPARATION AND REMOVALS		•
L2.01	SITE PREPARATION AND REMOVALS ENLARGEMENT		•
L2.02	SITE PREPARATION AND REMOVALS ENLARGEMENT		•
L2.03	SITE PREPARATION AND REMOVALS ENLARGEMENT		•
L3.00	LAYOUT AND MATERIALS PLAN		•
L3.01	LAYOUT AND MATERIALS PLAN ENLARGEMENT		•
L3.02	LAYOUT AND MATERIALS PLAN ENLARGEMENT		•
L3.03	LAYOUT AND MATERIALS PLAN ENLARGEMENT		•
L4.00	LANDSCAPE PLAN		•
L4.01	LANDSCAPE PLAN ENLARGEMENT		•
L4.02	LANDSCAPE PLAN ENLARGEMENT		•
L4.03	LANDSCAPE PLAN ENLARGEMENT		•
L5.00	DETAILS		•
L5.03	PLANTING DETAILS		•
04 - ARCHITECTURAL			
A0.10	MANSSION DEMOLITION FLOOR PLAN LEVEL 00		
A0.11	MANSSION DEMOLITION FLOOR PLAN LEVEL 01		
A0.12	MANSSION DEMOLITION FLOOR PLAN LEVEL 02		
A0.13	MANSSION DEMOLITION FLOOR PLAN LEVEL 03		
A0.14	MANSSION DEMOLITION FLOOR PLAN ATTIC LEVEL		
A0.15	MANSSION DEMOLITION FLOOR PLAN ROOF LEVEL		
A0.16	MANSSION DEMOLITION RCP LEVEL 00		
A0.17	MANSSION DEMOLITION RCP LEVEL 01		
A0.18	MANSSION DEMOLITION RCP LEVEL 02		
A0.19	MANSSION DEMOLITION RCP LEVEL 03		
A0.20	COACH HOUSE DEMOLITION FLOOR PLANS LEVEL 00 AND 01		
A0.21	COACH HOUSE DEMOLITION FLOOR PLANS LEVEL 02 AND 03		
A0.22	COACH HOUSE DEMOLITION ROP LEVEL 00, 01 AND 02		
A0.30	EXISTING BUILDING DEMOLITION ELEVATIONS		

SHEET NUMBER	SHEET NAME	2026.06.01 HISTORIC TAX CREDIT	2026.08.17 CERTIFICATE OF APPROPRIATENESS
A1.00	ARCHITECTURAL SITE PLAN		•
A1.10	MANSSION FLOOR PLAN - LEVEL 00		•
A1.11	MANSSION FLOOR PLAN - LEVEL 01		•
A1.12	MANSSION FLOOR PLAN - LEVEL 02		•
A1.13	MANSSION FLOOR PLAN - LEVEL 03		•
A1.14	MANSSION FLOOR PLAN - ROOF LEVEL		•
A1.20	COACH HOUSE FLOOR PLANS - LEVEL 00 AND 01		
A1.21	COACH HOUSE FLOOR PLANS - LEVEL 02 AND 03		
A1.30	MANSSION REFLECTED CEILING PLAN - LEVEL 00		
A1.31	MANSSION REFLECTED CEILING PLAN - LEVEL 01		
A1.32	MANSSION REFLECTED CEILING PLAN - LEVEL 02		
A1.33	MANSSION REFLECTED CEILING PLAN - LEVEL 03		
A1.34	COACH HOUSE REFLECTED CEILING PLAN - LEVEL 00, 01, 02		
A1.40	MANSSION FINISH PLAN - LEVEL 00		
A1.41	MANSSION FINISH PLAN - LEVEL 01		
A1.42	MANSSION FINISH PLAN - LEVEL 02		
A1.43	MANSSION FINISH PLAN - LEVEL 03		
A1.50	MANSSION FURNITURE PLAN - LEVEL 00		
A1.51	MANSSION FURNITURE PLAN - LEVEL 01		
A1.52	MANSSION FURNITURE PLAN - LEVEL 02		
A1.53	MANSSION FURNITURE PLAN - LEVEL 03		
A2.00	MANSSION ELEVATIONS		•
A2.01	MANSSION ELEVATIONS		•
A2.02	MANSSION ELEVATIONS		•
A2.03	MANSSION ELEVATIONS		•
A2.05	COACH HOUSE ELEVATIONS		
A2.10	BUILDING SECTION & EXTERIOR SCHEDULES		
A2.11	BUILDING SECTION & EXTERIOR SCHEDULES		
A2.20	ENLARGED BUILDING SECTIONS - CONSERVATORY		•
A2.21	ENLARGED PLANS, ELEVATIONS AND SECTIONS - CONSERVATORY		•
A2.30	ENLARGED PLANS - TERRACE AND UNDER-TERRACE		•
A2.31	ENLARGED PLANS, ELEVATIONS & SECTIONS - EXTERIOR RAMPS		
A2.32	ENLARGED SECTIONS - TERRACE		•
A2.33	ENLARGED PLANS, ELEVATIONS & SECTIONS - EXTERIOR STAIRS		•
A2.35	ENLARGED SECTIONS - TERRACE, EAST-WEST		
A2.40	ENLARGED PLANS, ELEVATIONS & SECTIONS - TERRACE DOORS		•
A2.41	ENLARGED PLANS, ELEVATIONS & SECTIONS - TERRACE DOORS		•
A2.42	ENLARGED PLANS, ELEVATIONS & SECTIONS - PORCH		•
A2.60	SITE IMPROVEMENTS		
A3.00	EXTERIOR WALL AND BUILDING ASSEMBLIES		
A3.01	EXTERIOR WALL SECTIONS		
A3.30	INTERIOR BASE BUILDING DETAILS		

SHEET NUMBER	SHEET NAME	2026.06.01 HISTORIC TAX CREDIT	2026.08.17 CERTIFICATE OF APPROPRIATENESS
A5.00	DETAILED PLANS & INTERIOR ELEVATIONS - GENERAL		
A5.02	DETAILED PLANS & INTERIOR ELEVATIONS - GENERAL		
A5.04	DETAILED PLANS & INTERIOR ELEVATIONS - GENERAL		
A5.05	DETAILED PLANS & INTERIOR ELEVATIONS - GENERAL		
A6.00	ENLARGED PLANS - ELEVATOR 1, STAIR 1, LULA LIFT		
A6.01	ENLARGED SECTIONS - ELEVATOR 1		
A6.02	ENLARGED SECTIONS - STAIR 1		
A6.10	ENLARGED PLANS & SECTIONS - STAIRS 4 & 5		
A6.50	TYPICAL STAIR DETAILS		
A7.00	INTERIOR PARTITION TYPES		
A7.10	DOOR SCHEDULE		
A7.11	DOOR DETAILS		
A7.50	LIGHTING, PLUMBING AND EQUIPMENT SCHEDULE		
05 - ENVELOPE RESTORATION			
R0.00	REFERENCE PHOTOGRAPHS		• •
R0.01	SPECIFICATIONS		• •
R0.02	SCOPE OF WORK		• •
R1.00	EXISTING ROOF PLAN - MAIN HOUSE		• •
R1.01	EXISTING ROOF PLAN - COACH HOUSE		• •
R2.00	EXISTING ELEVATIONS - EAST AND WEST		• •
R2.01	EXISTING ELEVATIONS - NORTH AND SOUTH		• •
R2.03	EXISTING ELEVATIONS - COACH HOUSE		• •
R3.00	MAIN HOUSE EAST BAY WINDOW - ENLARGED ELEVATION, PLAN, AND SECTIONS		• •
R3.01	MAIN HOUSE EAST SUN ROOM - ENLARGED ELEVATION, PLAN AND SECTIONS		• •
R3.02	MAIN HOUSE WINDOWS - ENLARGED ELEVATIONS AND SECTIONS		• •

ARCHITECT OF RECORD ASSEMBLE DESIGN WORKSHOP PLLC

ILL DESIGN FIRM LICENSE NUMBER: 184.008425-0001
EXPIRATION DATE: 04.30.2027
747 LAYERSHIRE AVENUE
WILMETTE, IL 60091
CONTACT: CHRIS EMMES, PARTNER
TELEPHONE: 847.933.5969
EMAIL: CHRIS@ASSEMBLEDDESIGNWORKSHOP.COM

STRUCTURAL ENGINEER SR+A STRUCTURAL ENGINEERS

ILL DESIGN FIRM LICENSE NUMBER: 184.008472-003
EXPIRATION DATE: 04.30.2027
20 NORTH WACKER DRIVE, SUITE 1000
CHICAGO, IL 60605
CONTACT: VIRAL SHAH, PRINCIPAL
TELEPHONE: 312.300.8577
EMAIL: VSHA@SRA-SE.COM

MEP/FP ENGINEER ARCHITECTURAL CONSULTING ENGINEERS

ILL DESIGN FIRM LICENSE NUMBER: 184.004075-0002
EXPIRATION DATE: 04.30.2027
837 HAYES AVENUE
OAK PARK, IL 60302
CONTACT: MARK NUSSBAUM, PRINCIPAL
TELEPHONE: 708.524.0272
EMAIL: MARK@ACE-CANPARK.COM

CIVIL ENGINEER ENGAGE CIVIL INCORPORATED

ILL DESIGN FIRM LICENSE NUMBER: 184.006796-0002
EXPIRATION DATE: 04.30.2027
231 S. LA SALLE STREET, SUITE 2100
CHICAGO, IL 60604
CONTACT: KELSEY A. TAYLOR, PRESIDENT
TELEPHONE: 872.218.8819
EMAIL: KELSEY@ENGAGECIVIL.COM

LANDSCAPE RVI PLANNING + LANDSCAPE ARCHITECTURE

ILL DESIGN FIRM LICENSE NUMBER:
EXPIRATION DATE: MM.DD.YYYY
22 E CHICAGO AVENUE, SUITE 200A
NAPERVILLE, ILLINOIS 60540
CONTACT: JOEL BALZON, PRINCIPAL
TELEPHONE: 630.961.1787
EMAIL: JBALZON@HTCHOCODESIGNGROUP.COM

HISTORIC PRESERVATION RAMSEY HISTORIC CONSULTANTS, INC.

ILL DESIGN FIRM LICENSE NUMBER: N/A
EXPIRATION DATE: N/A
1105 W. CHICAGO AVENUE, SUITE 201
CHICAGO, IL 60642
CONTACT: EMILY RAMSEY, PRINCIPAL
TELEPHONE: 312.213.8839
EMAIL: EMILY@RAMSEYHCINC.COM

FOOD SERVICE CONSULTANT TRIMARK MARLINN, LLC

ILL DESIGN FIRM LICENSE NUMBER: N/A
EXPIRATION DATE: N/A

5100 WEST 73RD STREET, SUITE 1
BEDFORD PARK, IL 60538
CONTACT: JEFF CARLIN
TELEPHONE: 708.780.2228
EMAIL: JLC1749@GMAIL.COM

LIGHTING DESIGN MORLIGHTS, LLC

ILL DESIGN FIRM LICENSE NUMBER: N/A
EXPIRATION DATE: N/A
809 DAVIS STREET, SUITE 500
EVANSTON, IL 60201
CONTACT: AVSHAM MOR
TELEPHONE: 312.288.8777
EMAIL: INFO@MORLIGHTS.COM

ELEVATOR CONSULTANT JENKINS & HUNTINGTON, INC.

ILL DESIGN FIRM LICENSE NUMBER: N/A
EXPIRATION DATE: N/A

17W06 91ST STREET
WILLOWBROOK, IL 60527-6001
CONTACT: JUAN SHELLEY
TELEPHONE: 312.495.9246
EMAIL: JCS-YTCNSULT@GMAIL.COM

BUILDING ENVELOPE REVIVE ARCHITECTURE LLC

ILL DESIGN FIRM LICENSE NUMBER: 184.007074
EXPIRATION DATE: 04.03.2027

1830 RIDGE AVENUE, #101
EVANSTON, IL 60201
CONTACT: SUSAN E. REINHOLD, PRINCIPAL
TELEPHONE: 847.537.7239
EMAIL: SREINHOLD@REVIVEARCH.COM

ACCESSIBILITY LCM ARCHITECTS

ILL DESIGN FIRM LICENSE NUMBER: N/A
EXPIRATION DATE: N/A
819 SOUTH WABASH AVENUE, FIFTH FLOOR
CHICAGO, IL 60605-2153
CONTACT: MICHELLE WINNECKE, ASSOCIATE PRINCIPAL
TELEPHONE: 312.766.5336
EMAIL: MWINNECKE@LCMARCHITECTS.COM

PROJECT NUMBER: 250401

SHEET NAME

COVER SHEET

SHEET NUMBER

G0.00

GENERAL NOTES

1. AREAS SHADED IN GRAY ARE NOT IN CONTRACT (N.I.C.).
2. REFER TO SHEET G0.01 FOR GENERAL NOTES.
3. REFER TO SHEET G0.01 FOR GRAPHIC SYMBOLS.
4. REFER TO LANDSCAPE DESIGN DRAWINGS FOR NEW LANDSCAPE AND EXTERIOR FURNISHINGS.

SHEET KEY NOTES

assemble
design workshop

HARLEY CLARKE
MANSION
REHABILITATION &
ADAPTIVE REUSE

2603 SHERIDAN ROAD
EVANSTON, IL 60201

HARLEY
CLARKE
DEVELOPMENT CO.

CLIENT/OWNER
CELADON CONSTRUCTION CORPORATION NFP

ARCHITECT OF RECORD
ASSEMBLE DESIGN WORKSHOP PLLC

STRUCTURAL ENGINEER
SKVA STRUCTURAL ENGINEERS

MEP/FP ENGINEER
ARCHITECTURAL CONSULTING ENGINEERS

CIVIL ENGINEER
ENGAGE CIVIL, INC.

LANDSCAPE ARCHITECT
RVI PLANNING + LANDSCAPE ARCHITECTURE

HISTORIC PRESERVATION
RAMSEY HISTORIC CONSULTANTS, INC.

FOOD SERVICE CONSULTANT
TRIMARK MARLINN, LLC

LIGHTING DESIGN
MORLIGHTS, LLC

ELEVATOR CONSULTANT
JENKINS & HUNTINGTON, INC.

BUILDING ENVELOPE
REVIVE ARCHITECTURE, LLC

ACCESSIBILITY CONSULTANT
LCM ARCHITECTS

#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2020.08.17
03	UNIQUE ADAPTIVE USE	2020.08.17
04	MAJOR VARIATION APPLICATION	2020.08.17

PROFESSIONAL OF RECORD

PROJECT NUMBER: 250401
SHEET NAME

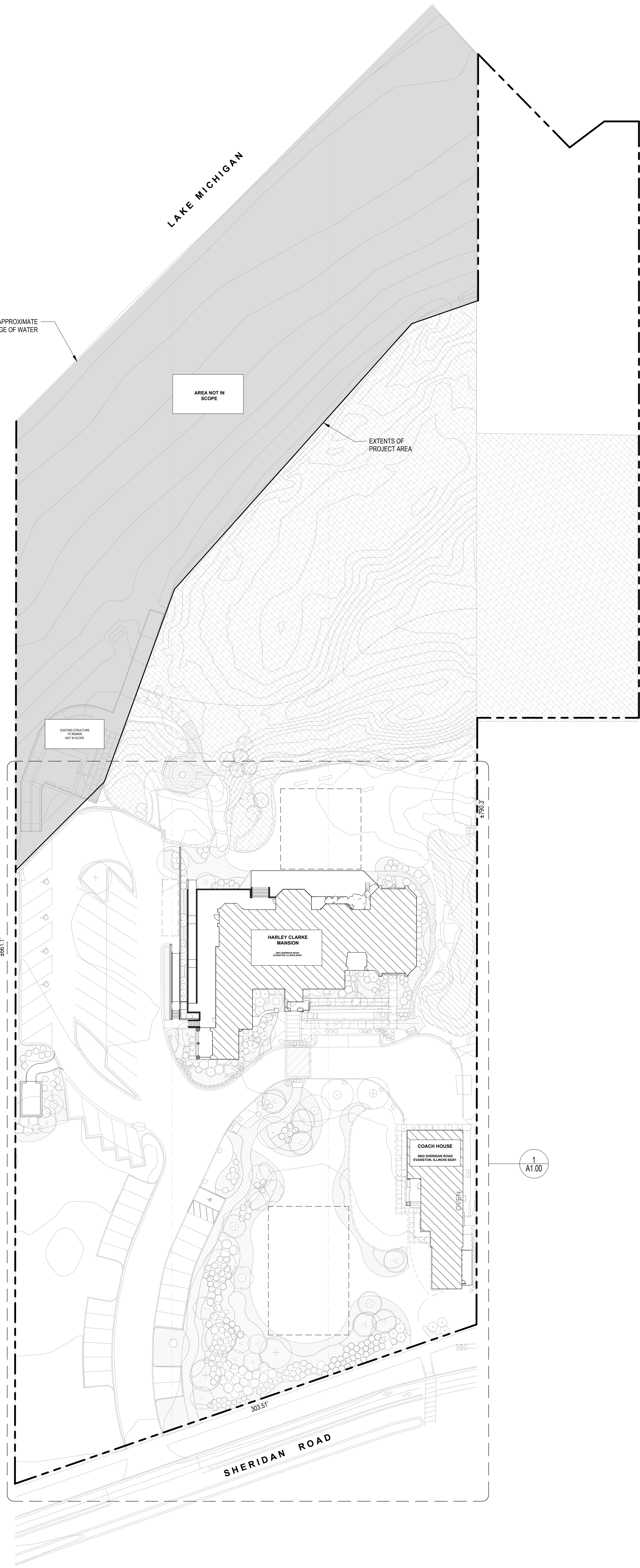
ARCHITECTURAL
SITE PLAN

SHEET NUMBER

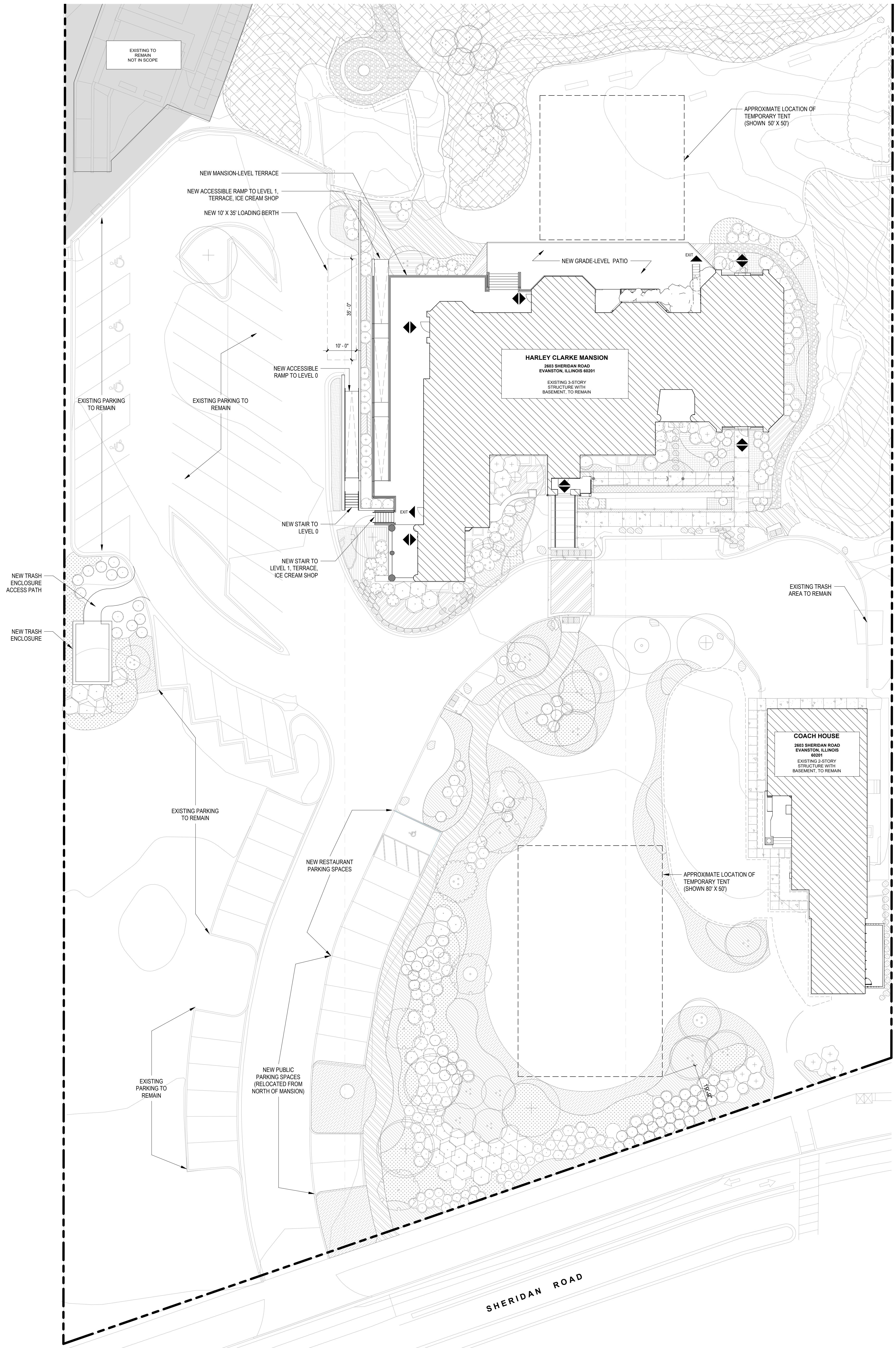
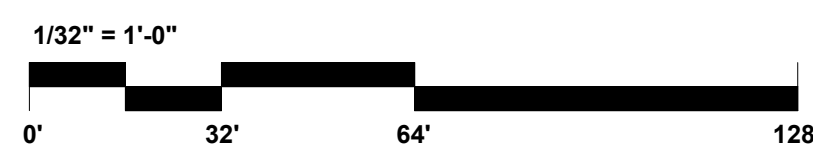
A1.00

PLAN LEGEND

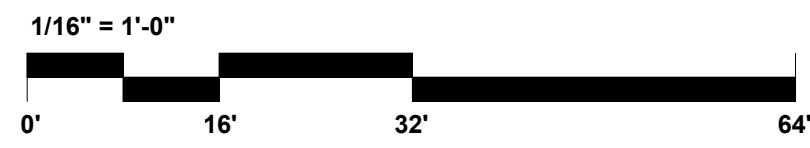
- PROPERTY LINE ————
SETBACK LINE ————
EASEMENT LINE - - - - -



2 PROPOSED OVERALL SITE PLAN
1/32" = 1'-0"



1 PROPOSED SITE PLAN
1/16" = 1'-0"



#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2020.08.17
03	UNIQUE ADAPTIVE USE	2020.08.17
04	MAJOR VARIATION APPLICATION	2020.08.17

PROFESSIONAL OF RECORD



PROJECT NUMBER: 250401

SHEET NAME

MANSION FLOOR
PLAN - LEVEL 00

SHEET NUMBER

A1.10



GENERAL NOTES

- REFER TO SHEET G0.01 FOR GENERAL NOTES.
- REFER TO SHEET G0.01 FOR ABBREVIATIONS AND GRAPHIC SYMBOLS.
- REFER TO A2.00 ELEVATION SERIES FOR EXTERIOR INFORMATION

SHEET KEY NOTES

PLAN LEGEND

EXISTING CONSTRUCTION TO BE DEMOLISHED		MILLWORK/CASEWORK	
EXISTING CONSTRUCTION TO REMAIN		NOT IN CONTRACT	
NEW CONSTRUCTION			

GRAPHIC SCALE



#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2020.08.17
03	UNIQUE ADAPTIVE USE	2020.08.17
04	MAJOR VARIATION APPLICATION	2020.08.17

PROFESSIONAL OF RECORD



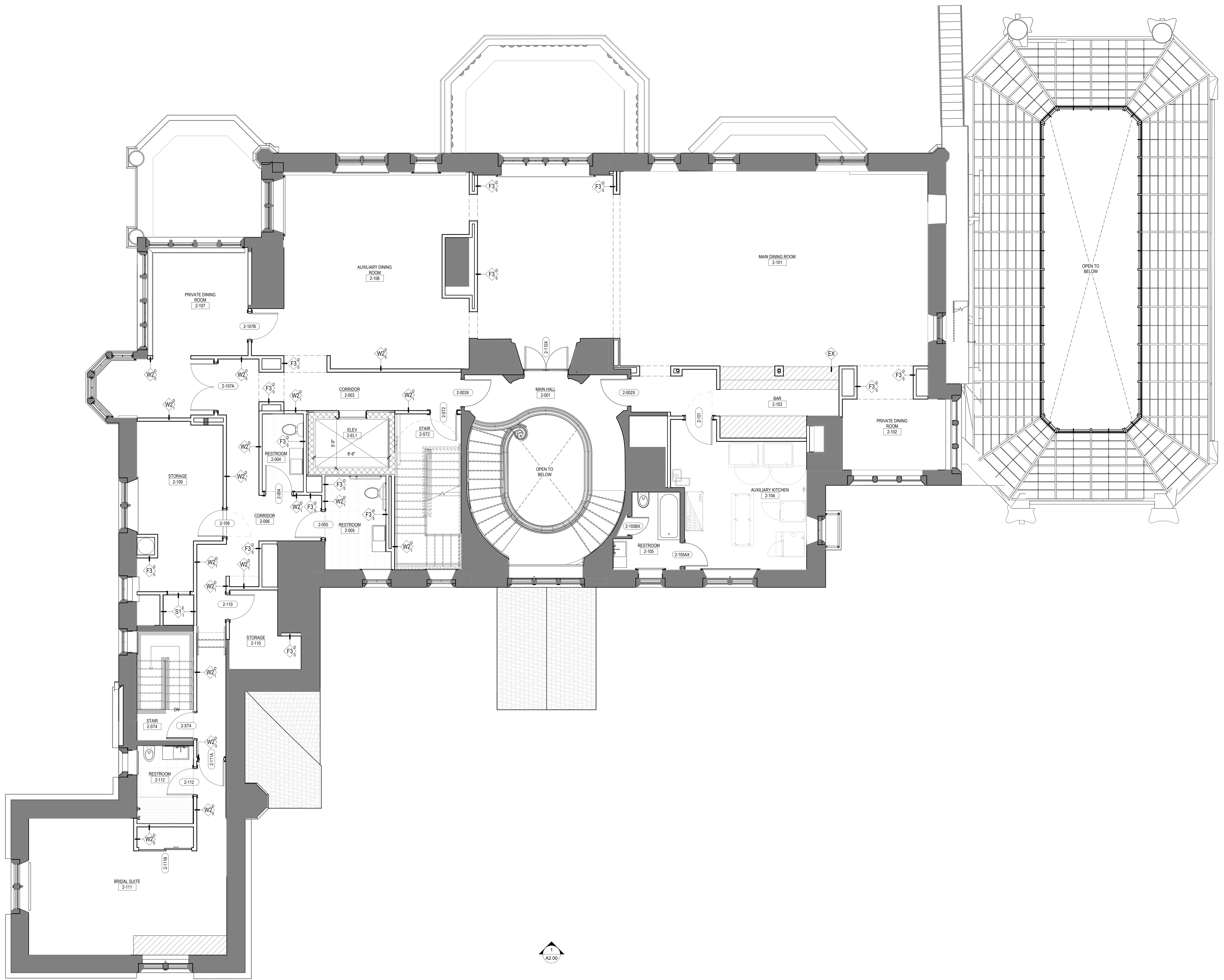
PROJECT NUMBER: 250401

SHEET NAME

MANSION FLOOR
PLAN - LEVEL 02

SHEET NUMBER

A1.12



GENERAL NOTES

- REFER TO SHEET G0.01 FOR GENERAL NOTES.
- REFER TO SHEET G0.01 FOR ABBREVIATIONS AND GRAPHIC SYMBOLS.
- REFER TO A2.00 ELEVATION SERIES FOR EXTERIOR INFORMATION

SHEET KEY NOTES

PLAN LEGEND

EXISTING
CONSTRUCTION TO
BE DEMOLISHED

EXISTING
CONSTRUCTION TO
REMAIN

NEW CONSTRUCTION

MILLWORK/CASEWORK

NOT IN CONTRACT

GRAPHIC SCALE

1/4" = 1'-0"

0' 4' 8' 16'

#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2020.08.17
03	UNIQUE ADAPTIVE USE	2020.08.17
04	MAJOR VARIATION APPLICATION	2020.08.17

PROFESSIONAL OF RECORD



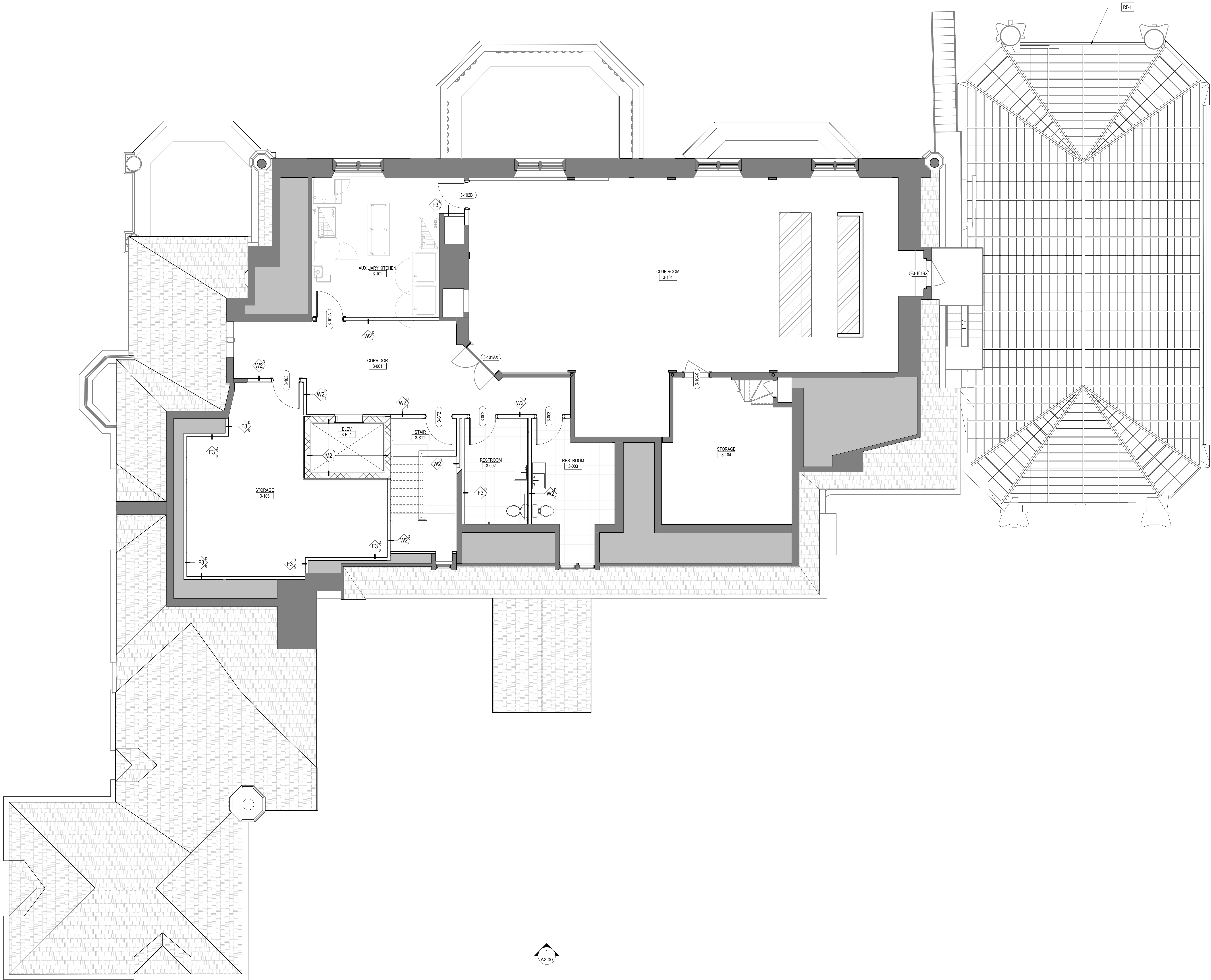
PROJECT NUMBER: 250401

SHEET NAME

MANSION FLOOR
PLAN - LEVEL 03

SHEET NUMBER

A1.13



GENERAL NOTES

- REFER TO SHEET G0.01 FOR GENERAL NOTES.
- REFER TO SHEET G0.01 FOR ABBREVIATIONS AND GRAPHIC SYMBOLS.
- REFER TO A2.00 ELEVATION SERIES FOR EXTERIOR INFORMATION

SHEET KEY NOTES

PLAN LEGEND

EXISTING
CONSTRUCTION TO
BE DEMOLISHED

EXISTING
CONSTRUCTION TO
REMAIN

NEW CONSTRUCTION

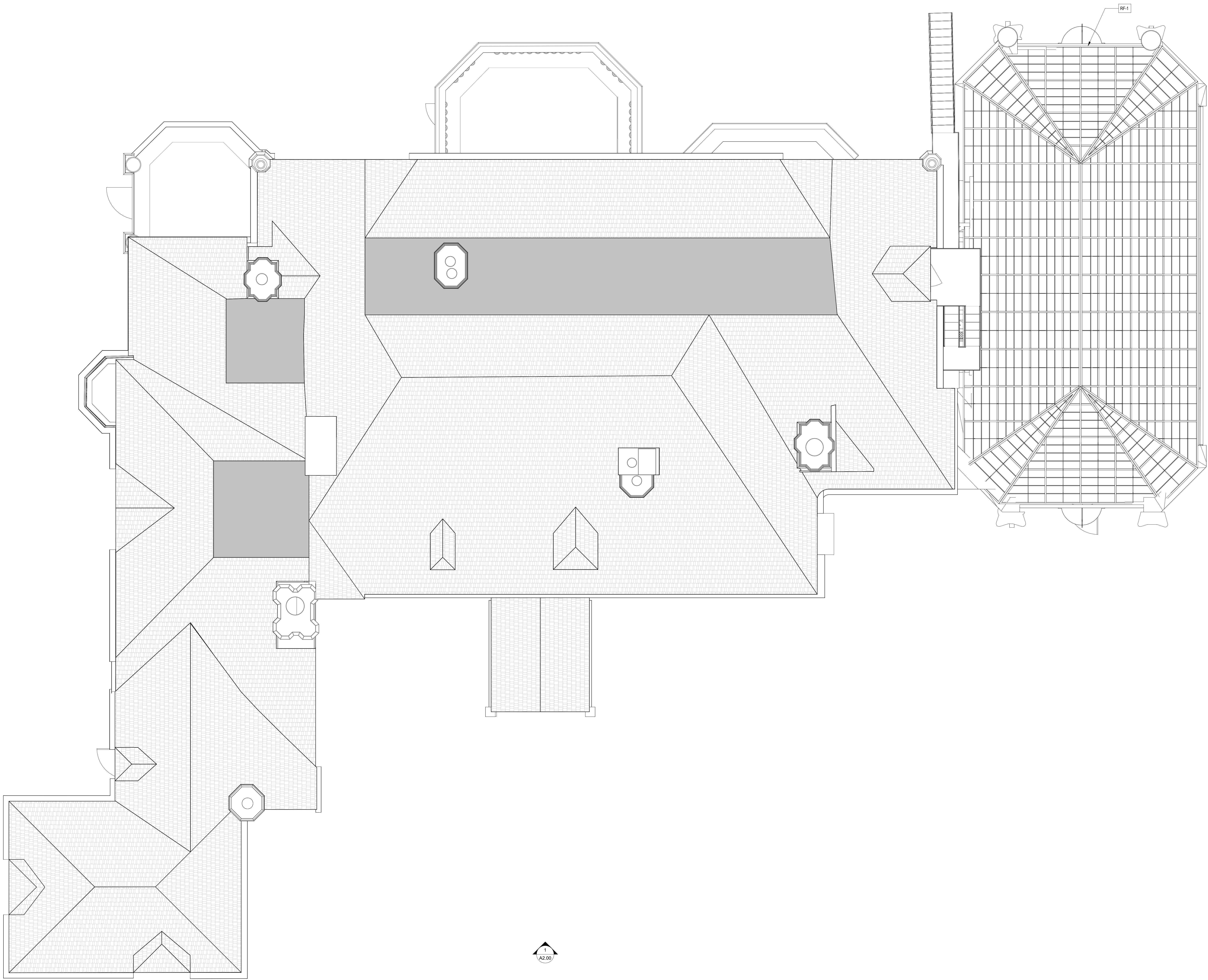
MILLWORK/CASEWORK

NOT IN CONTRACT

GRAPHIC SCALE

1/4" = 1'-0"

0' 4' 8' 16'



#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2020.08.17
03	UNIQUE ADAPTIVE USE	2020.08.17
04	MAJOR VARIATION APPLICATION	2020.08.17

PROFESSIONAL OF RECORD



PROJECT NUMBER: 250401

SHEET NAME

MANSION FLOOR
PLAN - ROOF LEVEL

SHEET NUMBER

A1.14

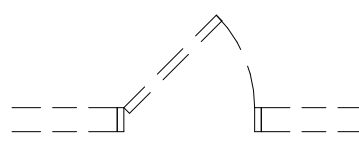
GENERAL NOTES

- 1 REFER TO SHEET G0.01 FOR GENERAL NOTES.
- 2 REFER TO SHEET G0.01 FOR ABBREVIATIONS AND GRAPHIC SYMBOLS.
- 3 REFER TO A2.00 ELEVATION SERIES FOR EXTERIOR INFORMATION

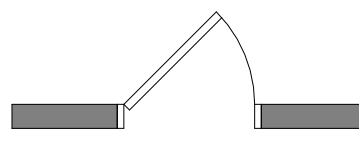
SHEET KEY NOTES

PLAN LEGEND

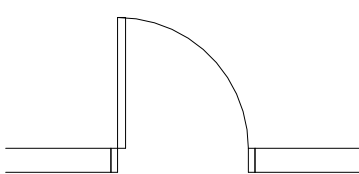
EXISTING
CONSTRUCTION TO
BE DEMOLISHED



EXISTING
CONSTRUCTION TO
REMAIN



NEW CONSTRUCTION



MILLWORK/CASEWORK



NOT IN CONTRACT



GRAPHIC SCALE

1/4" = 1'-0"



#	DESCRIPTION	DATE
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01	HISTORIC TAX CREDIT	2020.06.02
02	CERT. OF APPROPRIATENESS	2020.06.17

PROFESSIONAL OF RECORD

PROJECT NUMBER: 250401

SHEET NAME

MANSION
ELEVATIONS

SHEET NUMBER

A2.00

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2 MANSION ELEVATION - EXISTING - WEST
1/4" = 1'-0"



1 MANSION ELEVATION - PROPOSED - WEST
1/4" = 1'-0"

GENERAL NOTES				EXTERIOR MATERIALS				MATERIAL LEGEND				GRAPHIC SCALE			
1 REFER TO SHEET G0.01 FOR GENERAL NOTES. 2 REFER TO SHEET G0.01 FOR GRAPHIC SYMBOLS. 3 REFER TO RESTORATION DRAWINGS FOR FACADE RESTORATION DETAILS. 4 WHERE RECONSTRUCTION IS REQUIRED, UTILIZE EXISTING SIMILAR COMPONENTS WHERE AVAILABLE. WHERE EXISTING COMPONENTS ARE NO LONGER PRESENT, REFER TO PHOTOGRAPHIC EVIDENCE PROVIDED BY ARCHITECT AND PROFILES TYPICAL OF THE ARCHITECTURAL STYLE.				REF-1 NEW CUSTOM TRANSLUCENT INSULATED ROOF ASSEMBLY TO BE INSTALLED OVER EXISTING STEEL TRUSS FRAMING AND EXISTING MASONRY WALLS. KAL WALL CUSTOM SKYROOF: 3/4" THICK STRUCTURAL SANDWICH PANEL WITH EXTERIOR CRYSTAL FRP AND INTERIOR WHITE FRP FACING. PANELS TO BE FILLED WITH LUMINA AEROGEL. U-VALUE: 0.04U (R-20), VLT 20%, SHGC: 0.27. SKYROOF ENGINEERING BY MANUFACTURER. THE NEW ROOF ASSEMBLY INTO GUTTERS AND FLASHING. INSTALLER SHALL VERIFY DIMENSIONS AND SUPPORTS OF EXISTING FRAMING AND WALLS.				ST-1 SMOOTH-CUT BUFF LIMESTONE ST-2 ROUGH TEXTURED COURSED ASHLAR STONE BRK-1 RED BRICK - COLOR BLEND, SIZE AND TEXTURE TO MATCH EXISTING BRICK CHIMNEYS				EXISTING STONE ST-1 ST-2 GLASS			
												1/8" = 1'-0" 0' 8' 16' 32'			

#	DESCRIPTION	DATE
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01	HISTORIC TAX CREDIT	2020.06.07
02	CERT. OF APPROPRIATENESS	2026.06.17

PROFESSIONAL OF RECORD

PROJECT NUMBER: 250401

SHEET NAME

MANSION
ELEVATIONS

SHEET NUMBER

A2.01

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GENERAL NOTES				EXTERIOR MATERIALS				MATERIAL LEGEND				GRAPHIC SCALE			
1	REFER TO SHEET G0.01 FOR GENERAL NOTES.			REF-1	NEW CUSTOM TRANSLUCENT INSULATED ROOF ASSEMBLY TO BE INSTALLED OVER EXISTING STEEL TRUSS FRAMING AND EXISTING MASONRY WALLS. KAL WALL CUSTOM SKYROOF, 3/4" THICK STRUCTURAL SANDWICH PANEL WITH EXTERIOR CRYSTAL FRP AND INTERIOR WHITE FRP FACING. PANELS TO BE FILLED WITH LUMINA AEROGEL. U-VALUE: 0.024 (R-20), VLT: 20%, SHGC: 0.27. SKYROOF ENGINEERING BY MANUFACTURER.	ST-1	SMOOTH-CUT BUFF LIMESTONE	MTL-1	MEDIUM DARK OIL RUBBED BRONZE, SATIN FINISHED LINEAR GRAIN WITH REMOVABLE LACQUER PROTECTION COAT	EXISTING STONE	GLASS				
2	REFER TO SHEET G0.01 FOR GRAPHIC SYMBOLS.					ST-2	ROUGH TEXTURED COURSED ASHLAR STONE	MTL-2	HIGH PERFORMANCE POWDER COATED ALUMINUM TO MATCH MTL-1, TIGER DRYLAC OR EQUAL						
3	REFER TO RESTORATION DRAWINGS FOR FACADE RESTORATION DETAILS.					BRK-1	RED BRICK - COLOR BLEND, SIZE AND TEXTURE TO MATCH EXISTING BRICK CHIMNEYS								
4	WHERE RECONSTRUCTION IS REQUIRED, UTILIZE EXISTING SIMILAR COMPONENTS WHERE AVAILABLE. WHERE EXISTING COMPONENTS ARE NO LONGER PRESENT, REFER TO PHOTOGRAPHIC EVIDENCE PROVIDED BY ARCHITECT AND PROFILES TYPICAL OF THE ARCHITECTURAL STYLE.														

#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2020.06.02
02	CERT. OF APPROPRIATENESS	2026.06.17

PROFESSIONAL OF RECORD

PROJECT NUMBER: 250401

SHEET NAME

MANSION
ELEVATIONS

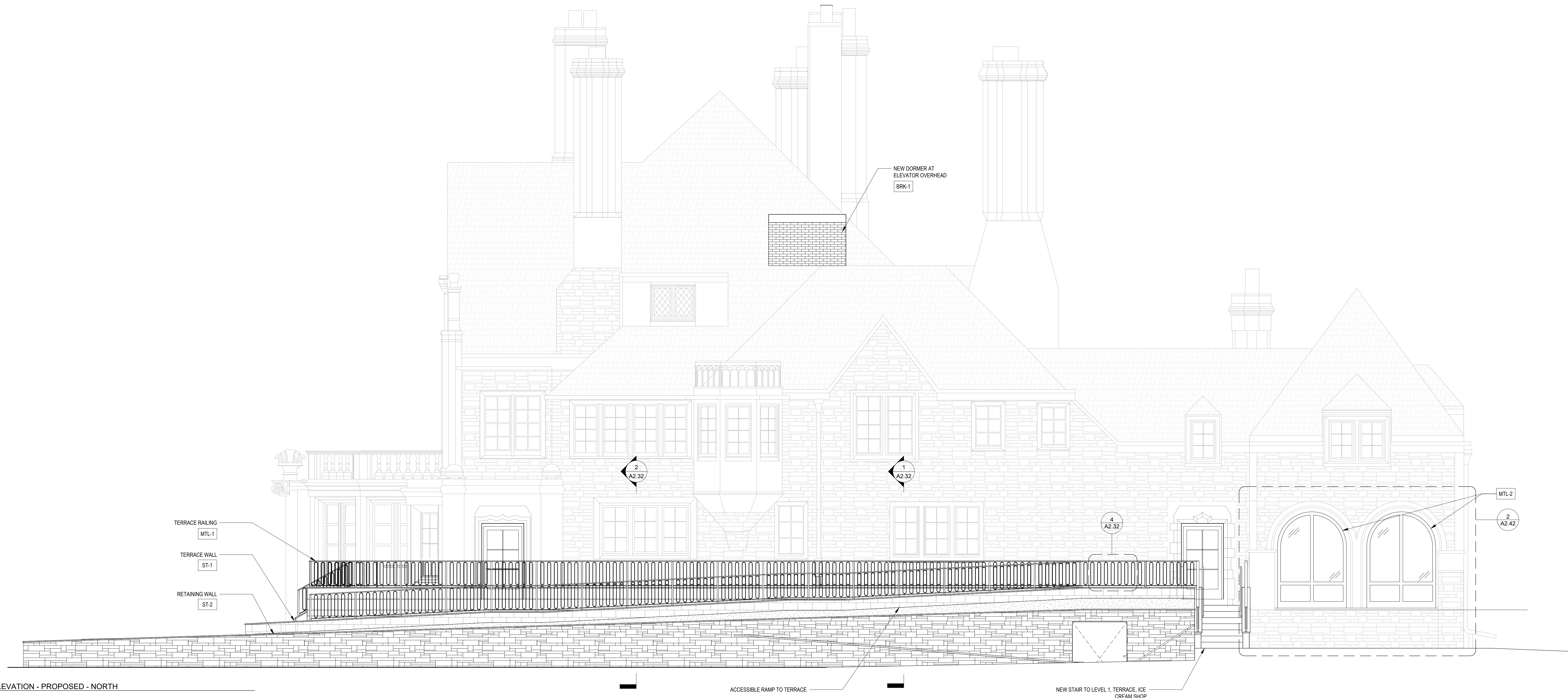
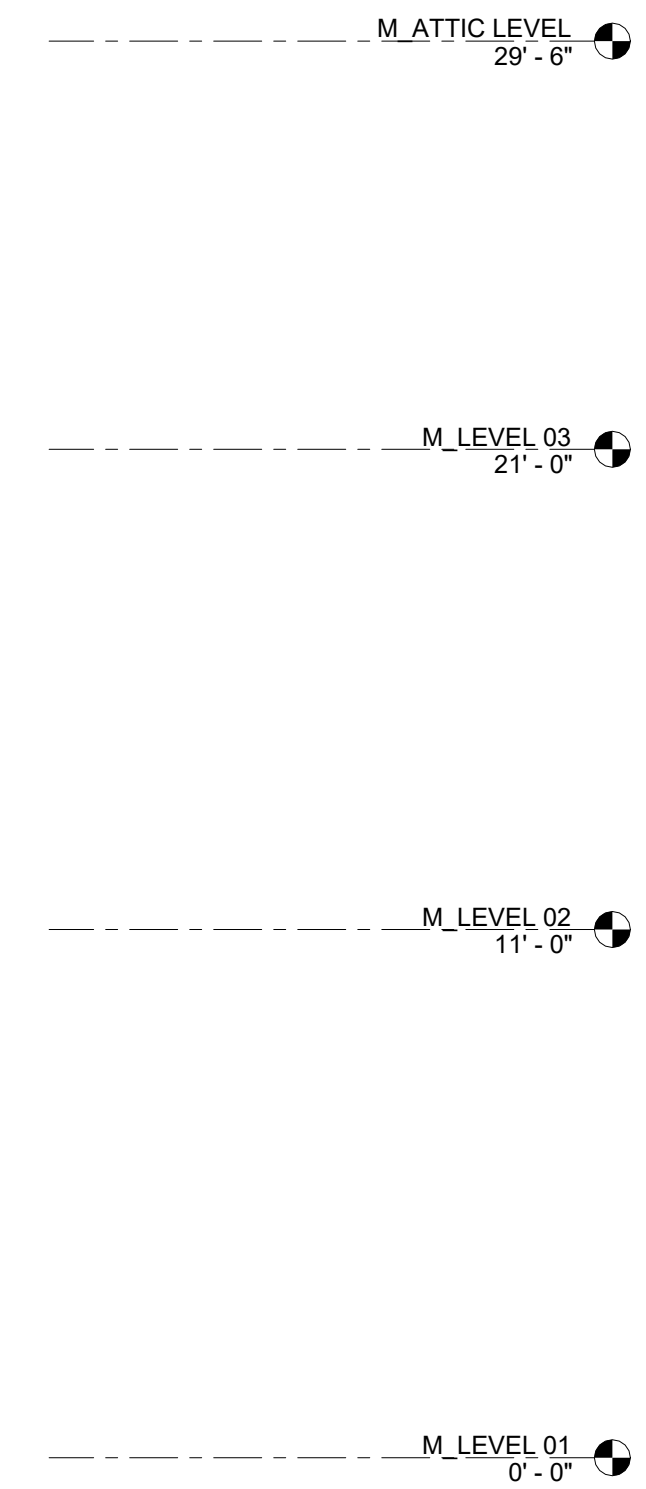
SHEET NUMBER

A2.02

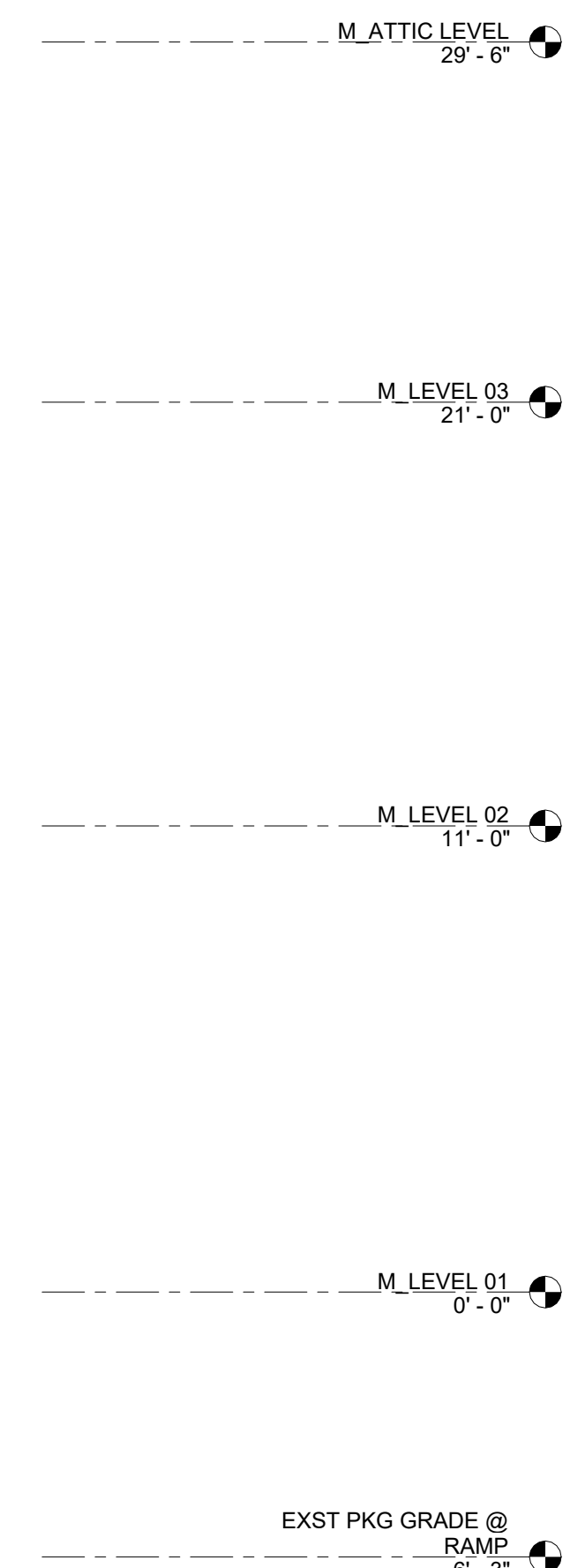
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2 MANSION ELEVATION - EXISTING - NORTH
1/4" = 1'-0"



1 MANSION ELEVATION - PROPOSED - NORTH
1/4" = 1'-0"



GENERAL NOTES

- REFER TO SHEET G0.01 FOR GENERAL NOTES.
- REFER TO SHEET G0.01 FOR GRAPHIC SYMBOLS.
- REFER TO RESTORATION DRAWINGS FOR FACADE RESTORATION DETAILS.
- WHERE RECONSTRUCTION IS REQUIRED, UTILIZE EXISTING SIMILAR COMPONENTS WHERE AVAILABLE. WHERE EXISTING COMPONENTS ARE NO LONGER PRESENT, REFER TO PHOTOGRAPHIC EVIDENCE PROVIDED BY ARCHITECT AND PROFILES TYPICAL OF THE ARCHITECTURAL STYLE.

EXTERIOR MATERIALS

- REF-1 NEW CUSTOM TRANSLUCENT INSULATED ROOF ASSEMBLY TO BE INSTALLED OVER EXISTING STEEL TRUSS FRAMING AND EXTERIOR MASONRY WALLS. KAL WALL CUSTOM SKYROOF: 3/4" THICK STRUCTURAL SANDWICH PANEL WITH EXTERIOR CRYSTAL FRP AND INTERIOR WHITE FRP FACING. PANELS TO BE FILLED WITH LUMINA AEROGEL. U-VALUE: 0.04U (R-20), VLT 20%, SHGC: 0.27. SKYROOF ENGINEERING BY MANUFACTURER.
- THE NEW ROOF ASSEMBLY INTO GUTTERS AND FLASHING. INSTALLER SHALL VERIFY DIMENSIONS AND SUPPORTS OF EXISTING FRAMING AND WALLS.

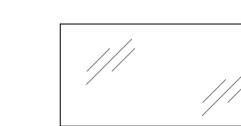
- ST-1 SMOOTH-CUT BUFF LIMESTONE
- ST-2 ROUGH TEXTURED COURSED ASHLAR STONE
- BRK-1 RED BRICK - COLOR BLEND, SIZE AND TEXTURE TO MATCH EXISTING BRICK CHIMNEYS

- MTL-1 MEDIUM DARK OIL RUBBED BRONZE, SATIN FINISHED LINEAR GRAIN WITH REMOVABLE LACQUER PROTECTION COAT
- MTL-2 HIGH PERFORMANCE POWDER COATED ALUMINUM TO MATCH MTL-1, TIGER DRYLAC OR EQUAL

MATERIAL LEGEND

- EXISTING STONE
- ST-1
- ST-2

GLASS



GRAPHIC SCALE



#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2020.06.02
02	CERT. OF APPROPRIATENESS	2020.06.17

PROFESSIONAL OF RECORD

PROJECT NUMBER: 250401
SHEET NAME

MANSION
ELEVATIONS

SHEET NUMBER

A2.03

M_ATTIC LEVEL
29'-0"

M_LEVEL 03
21'-0"

M_LEVEL 02
11'-0"

CONS. ROOF
10'-4 1/2"

M_LEVEL 01
0'-0"

CONS. FLOOR
-2'-11 1/2"

M_ATTIC LEVEL
29'-0"

M_LEVEL 03
21'-0"

M_LEVEL 02
11'-0"

CONS. ROOF
10'-4 1/2"

M_LEVEL 01
0'-0"

CONS. FLOOR
-2'-11 1/2"

EXISTING FIRE ESCAPE TO BE REFINISHED

NEW CONSERVATORY ROOF

2 MANSION ELEVATION - EXISTING - SOUTH
1/4" = 1'-0"

1 MANSION ELEVATION - PROPOSED - SOUTH
1/4" = 1'-0"

GENERAL NOTES

- REFER TO SHEET G0.01 FOR GENERAL NOTES.
- REFER TO SHEET G0.01 FOR GRAPHIC SYMBOLS.
- REFER TO RESTORATION DRAWINGS FOR FACADE RESTORATION DETAILS.
- WHERE RECONSTRUCTION IS REQUIRED, UTILIZE EXISTING SIMILAR COMPONENTS WHERE AVAILABLE. WHERE EXISTING COMPONENTS ARE NO LONGER PRESENT, REFER TO PHOTOGRAPHIC EVIDENCE PROVIDED BY ARCHITECT AND PROFILES TYPICAL OF THE ARCHITECTURAL STYLE.

EXTERIOR MATERIALS

REF-1 NEW CUSTOM TRANSLUCENT INSULATED ROOF ASSEMBLY TO BE INSTALLED OVER EXISTING STEEL TRUSS FRAMING AND EXTERIOR MASONRY WALLS. KAL WALL CUSTOM SKYROOF: 3/4" THICK STRUCTURAL SANDWICH PANEL WITH EXTERIOR CRYSTAL FRP AND INTERIOR WHITE FRP FACERS. PANELS TO BE FILLED WITH LUMINA AEROGEL. U-VALUE: 0.04U (R-20), VLT: 20%, SHGC: 0.27. SKYROOF ENGINEERING BY MANUFACTURER.

THE NEW ROOF ASSEMBLY INTO GUTTERS AND FLASHING. INSTALLER SHALL VERIFY DIMENSIONS AND SUPPORTS OF EXISTING FRAMING AND WALLS.

ST-1 SMOOTH-CUT BUFF LIMESTONE

ST-2 ROUGH TEXTURED COURSED ASHLAR STONE

BRK-1 RED BRICK - COLOR BLEND, SIZE AND TEXTURE TO MATCH EXISTING BRICK CHIMNEYS

MTL-1 MEDIUM DARK OIL RUBBED BRONZE, SATIN FINISHED LINEAR GRAIN WITH REMOVABLE LACQUER PROTECTION COAT

MTL-2 HIGH PERFORMANCE POWDER COATED ALUMINUM TO MATCH MTL-1, TIGER DRYLAC OR EQUAL

MATERIAL LEGEND

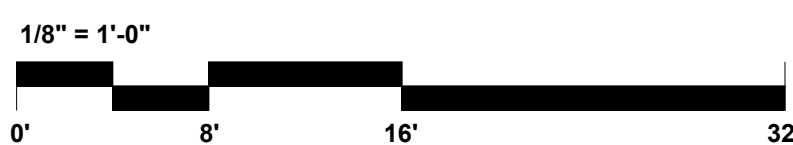
EXISTING STONE

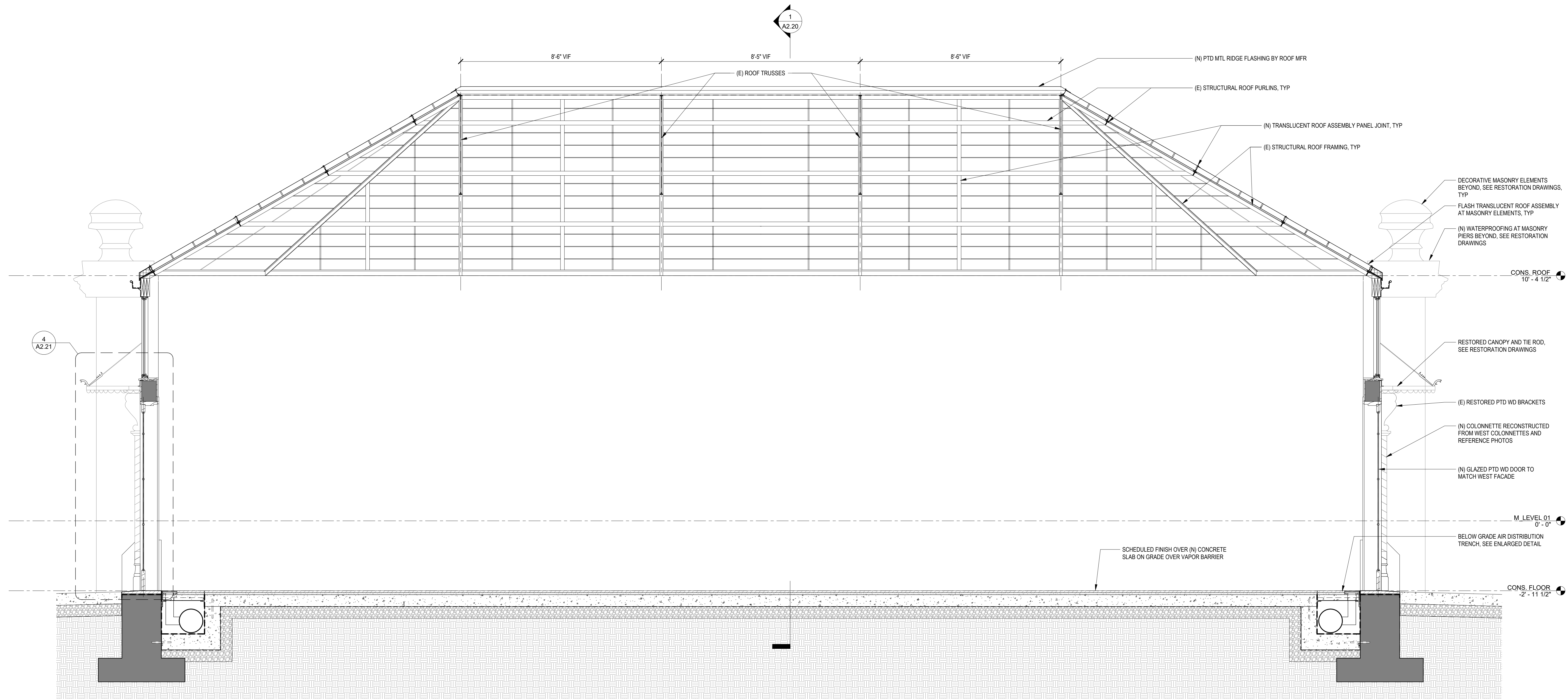
ST-1

ST-2

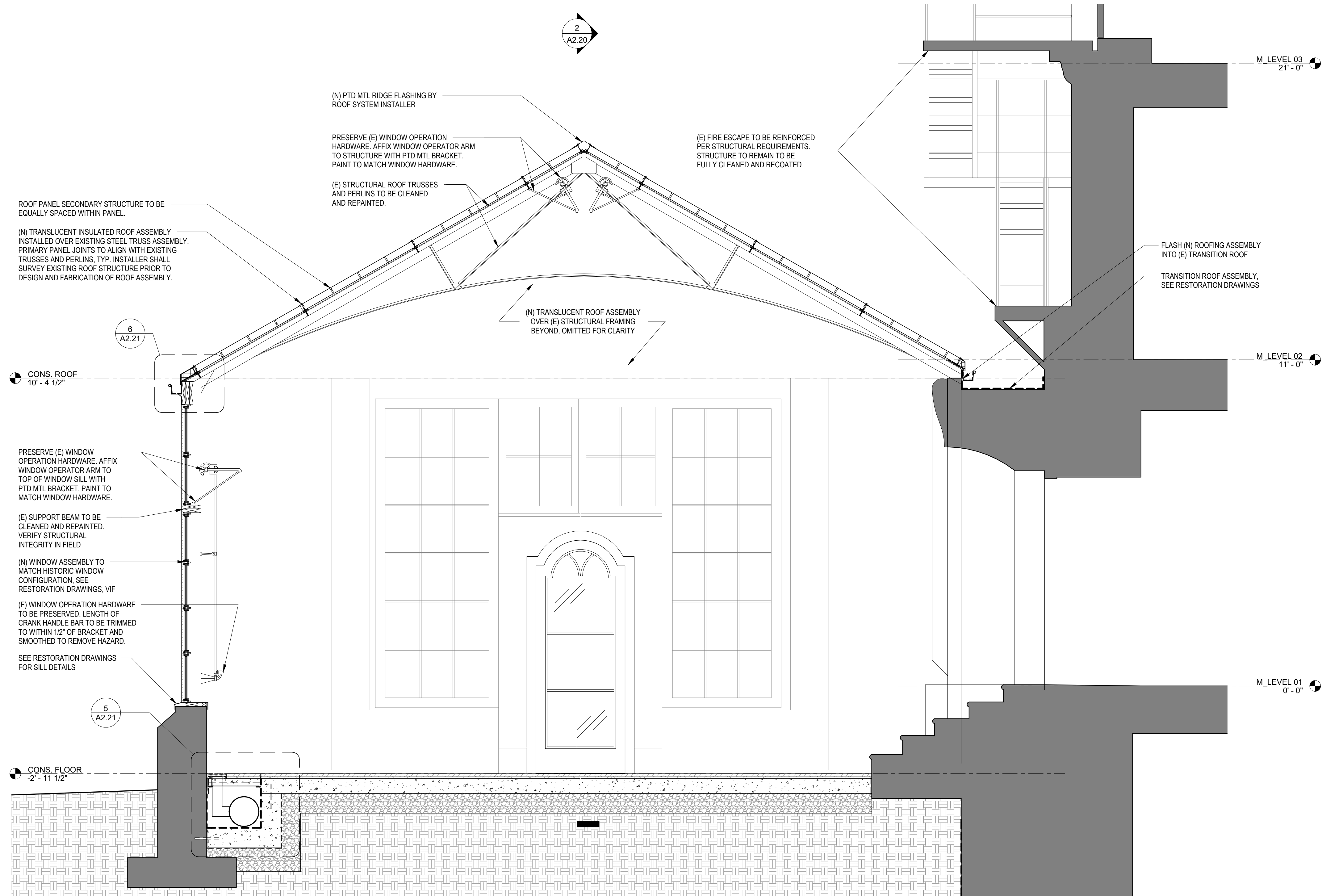
GLASS

GRAPHIC SCALE





2 SECTION - EASTWEST LOOKING NORTH @ CONSERVATORY 1-103
1/2" = 1'-0"



1 SECTION - NORTH/SOUTH LOOKING WEST @ CONSERVATORY 1-103
1/2" = 1'-0"

#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2026.08.

PROFESSIONAL OF RECORD

PROJECT NUMBER: 250401

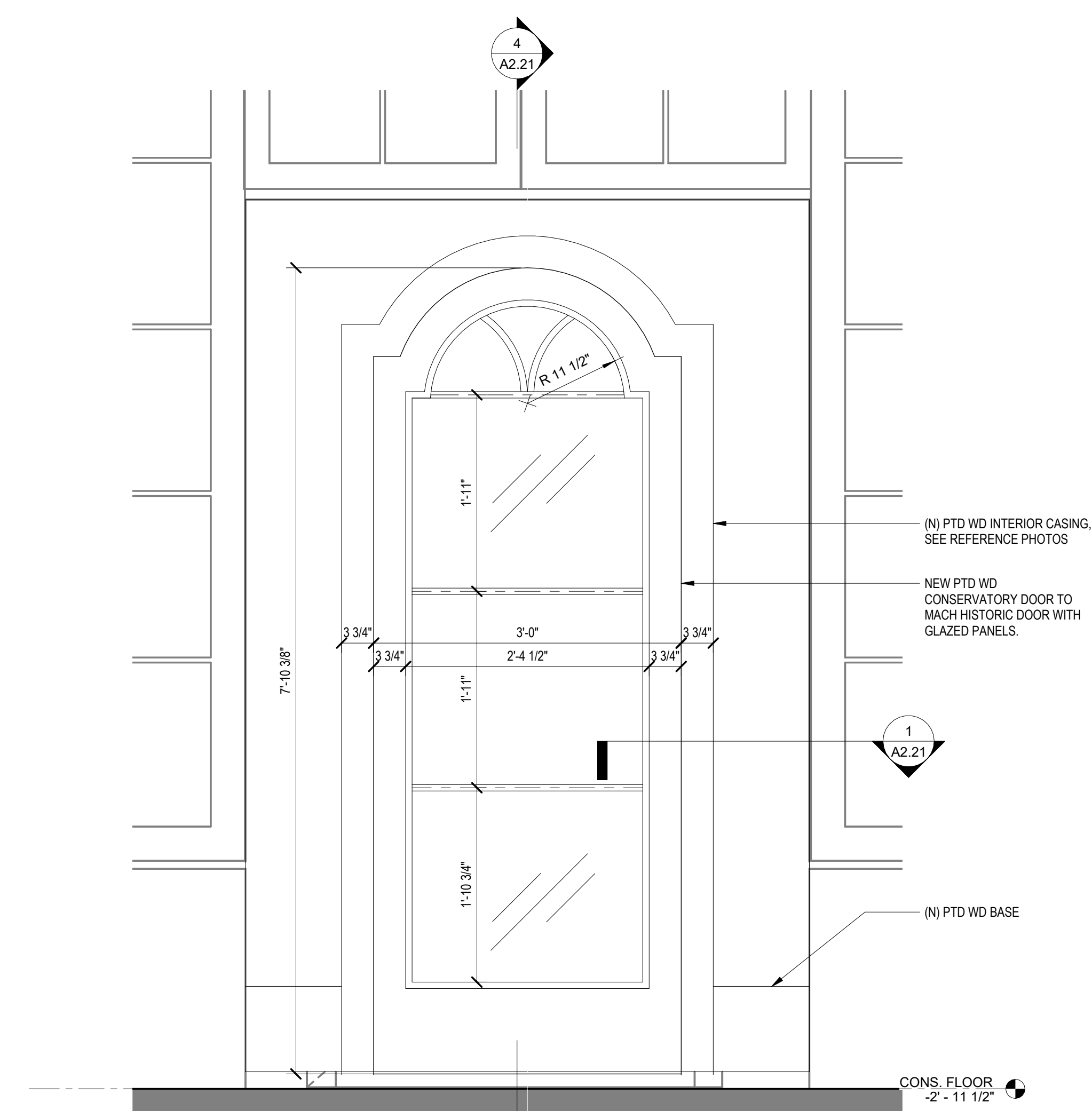
SHEET NAME

ENLARGED PLANS,
ELEVATIONS AND
SECTIONS -
CONSERVATORY

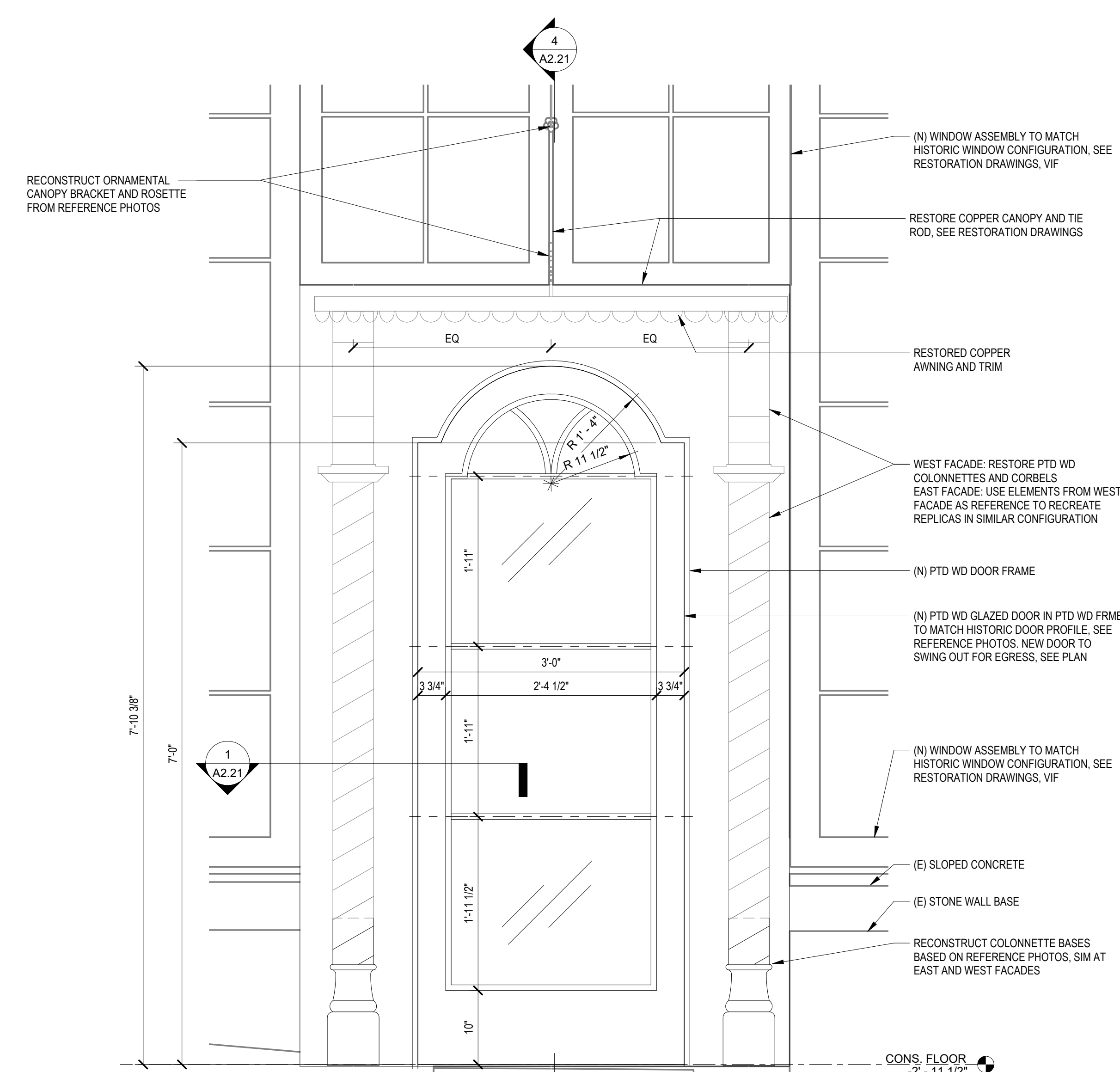
SHEET NUMBER

A2.21

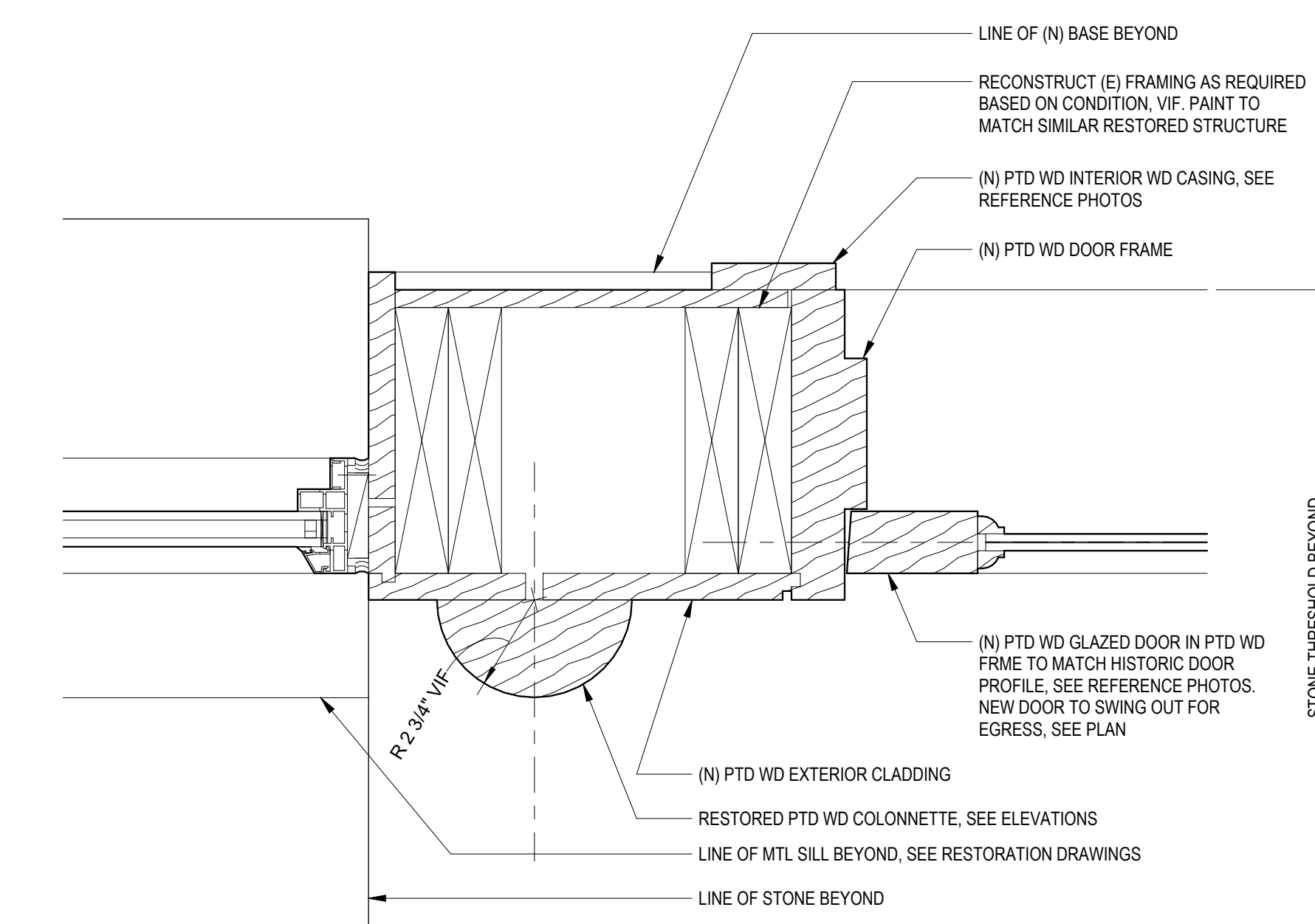
© 2004 Bauwille Design Workshop P.L.C.



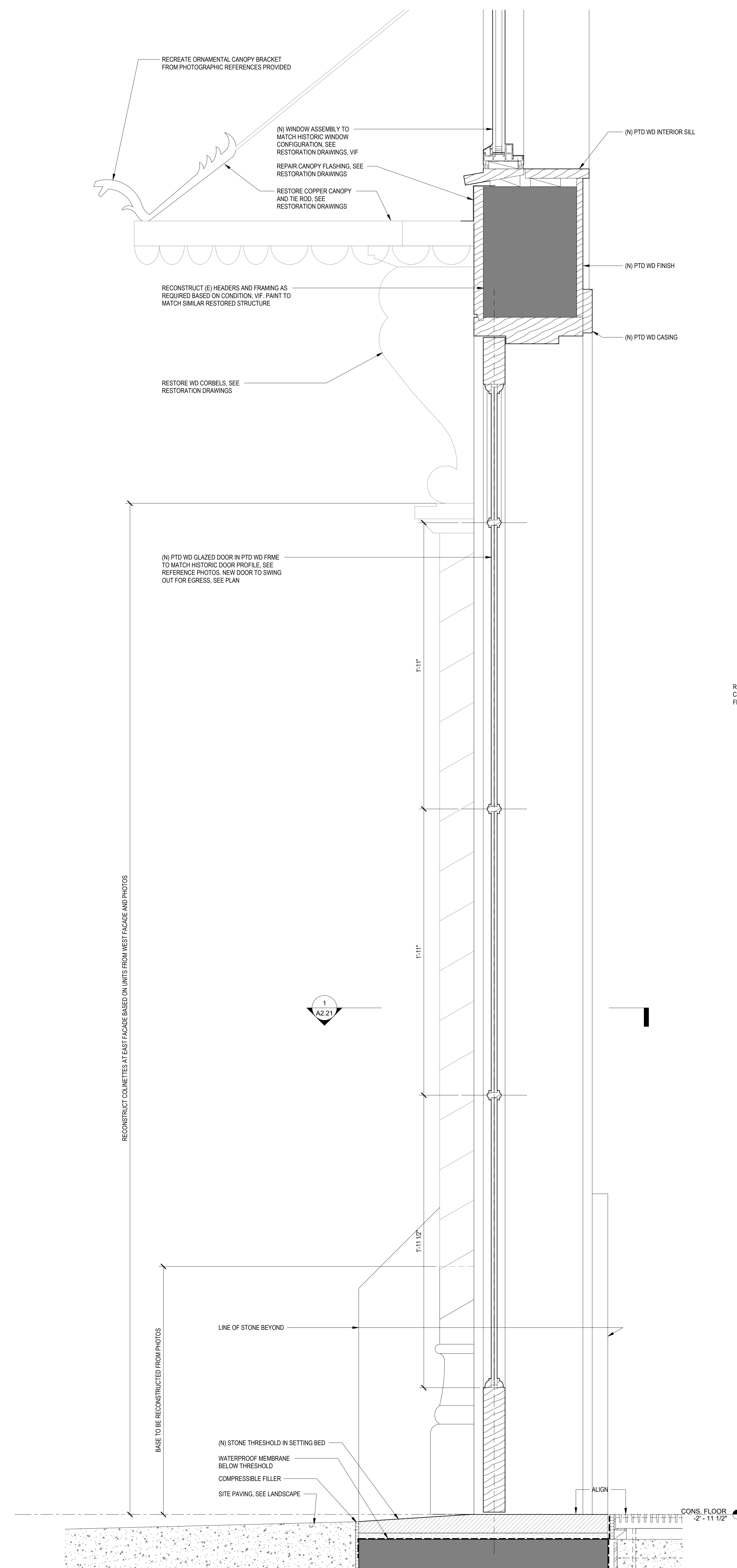
3 ENLARGED ELEVATION @ DOOR E1-103A - INTERIOR
1" = 1'-0"



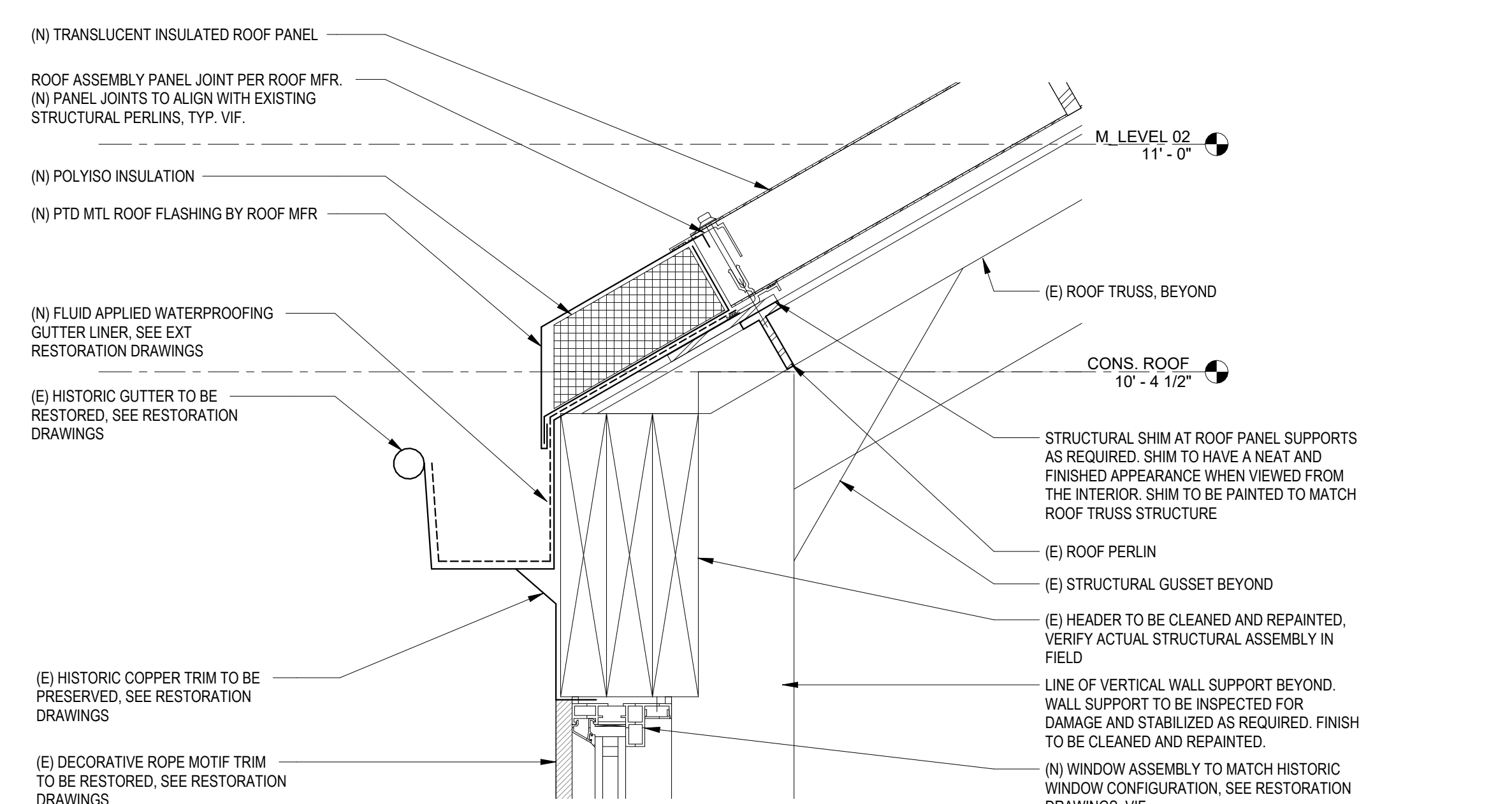
2 ENLARGED ELEVATION @ DOOR E1-103A - EXTERIOR
1" = 1'-0"



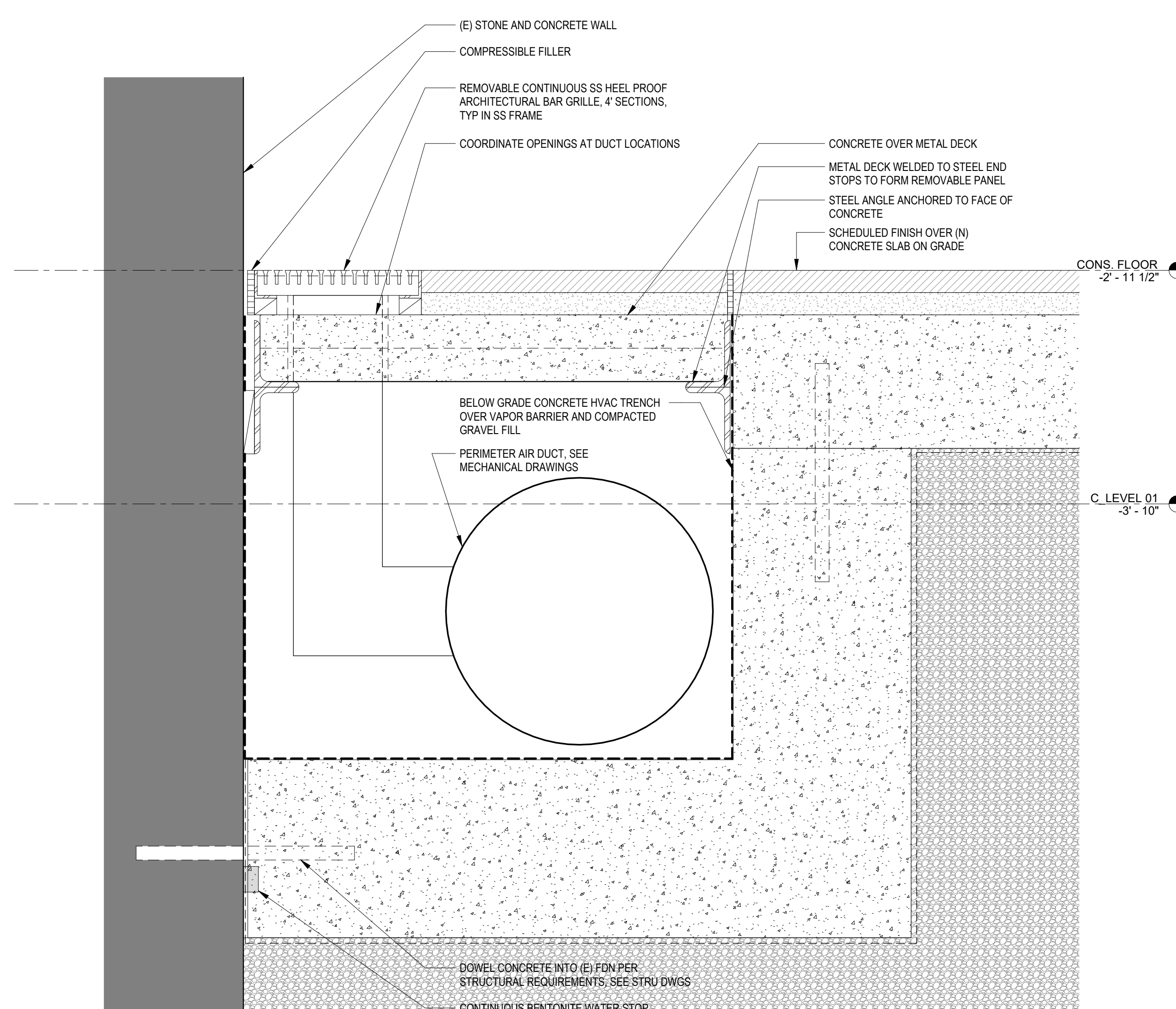
1 JAMB DETAIL @ DOOR E1-103A
3" = 1'-0"



4 SECTION DETAIL @ DOOR E1-103A
3" = 1'-0"



6 SECTION DETAIL - CONSERVATORY ROOF AT GLAZING
3" = 1'-0"



5 SECTION DETAIL - CONSERVATORY BELOW GRADE HVAC TRENCH
3" = 1'-0"

#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2026.08.17

PROFESSIONAL OF RECORD

PROJECT NUMBER: 250401

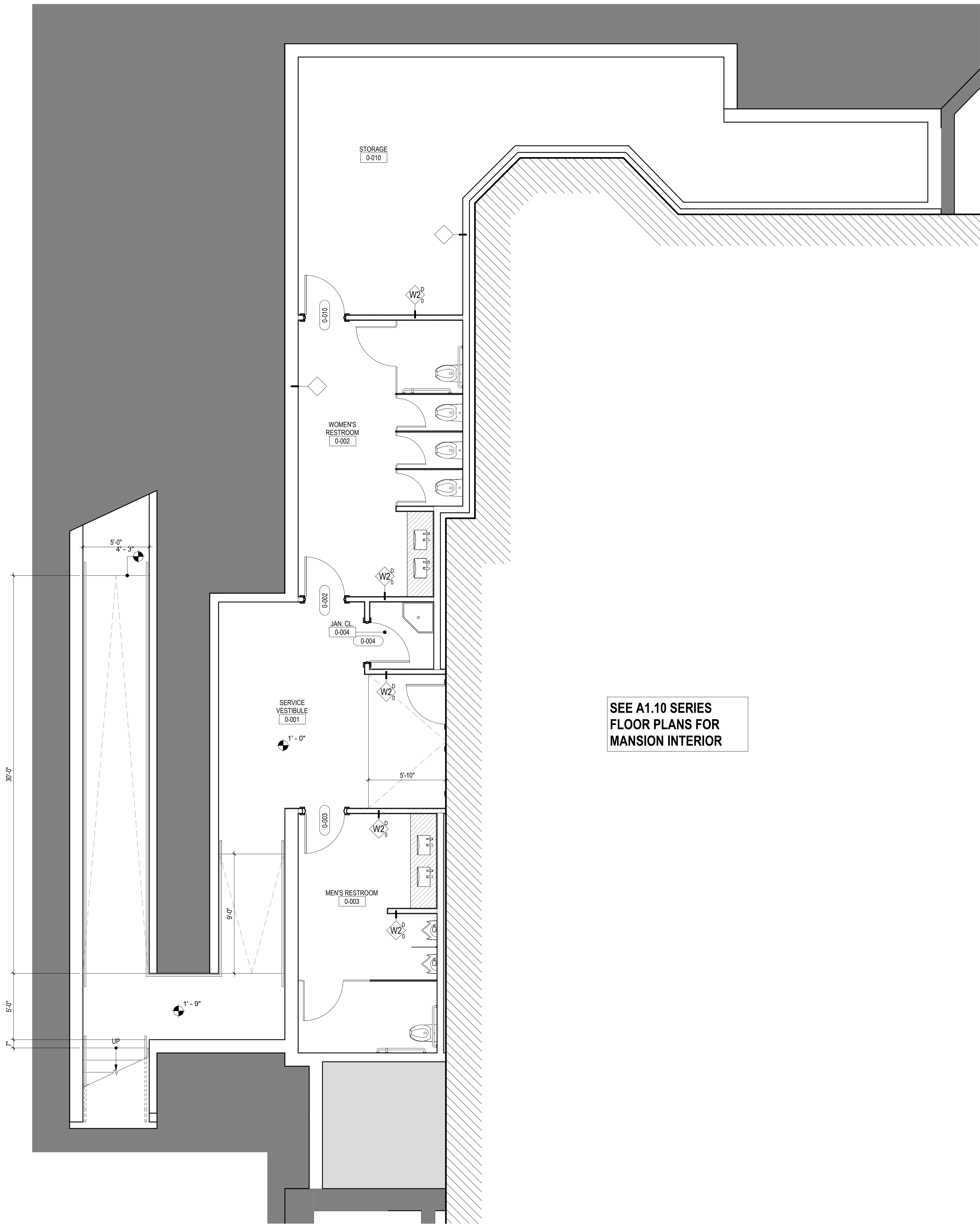
SHEET NAME

ENLARGED PLANS -
TERRACE AND
UNDER-TERRACE

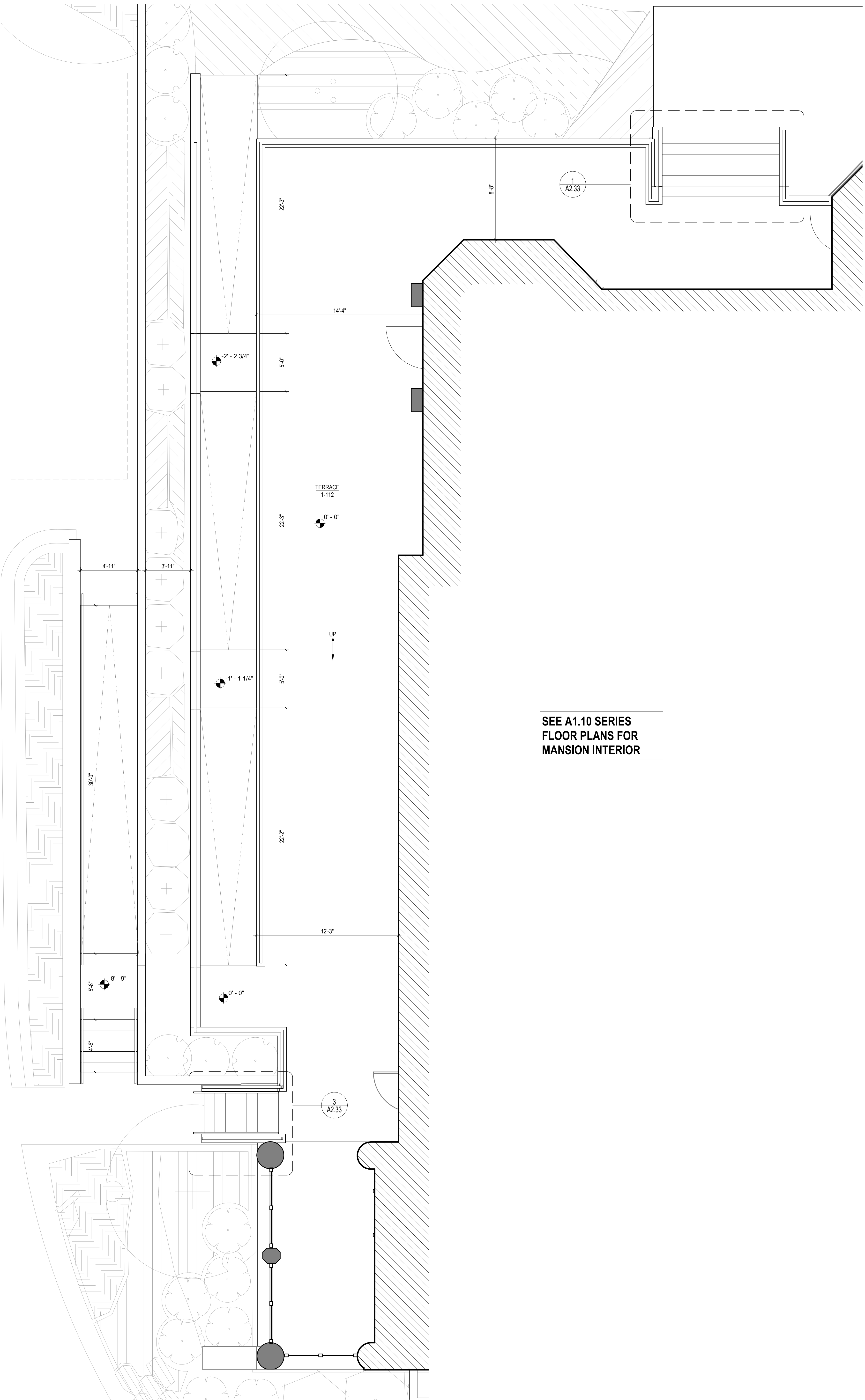
SHEET NUMBER

A2.30

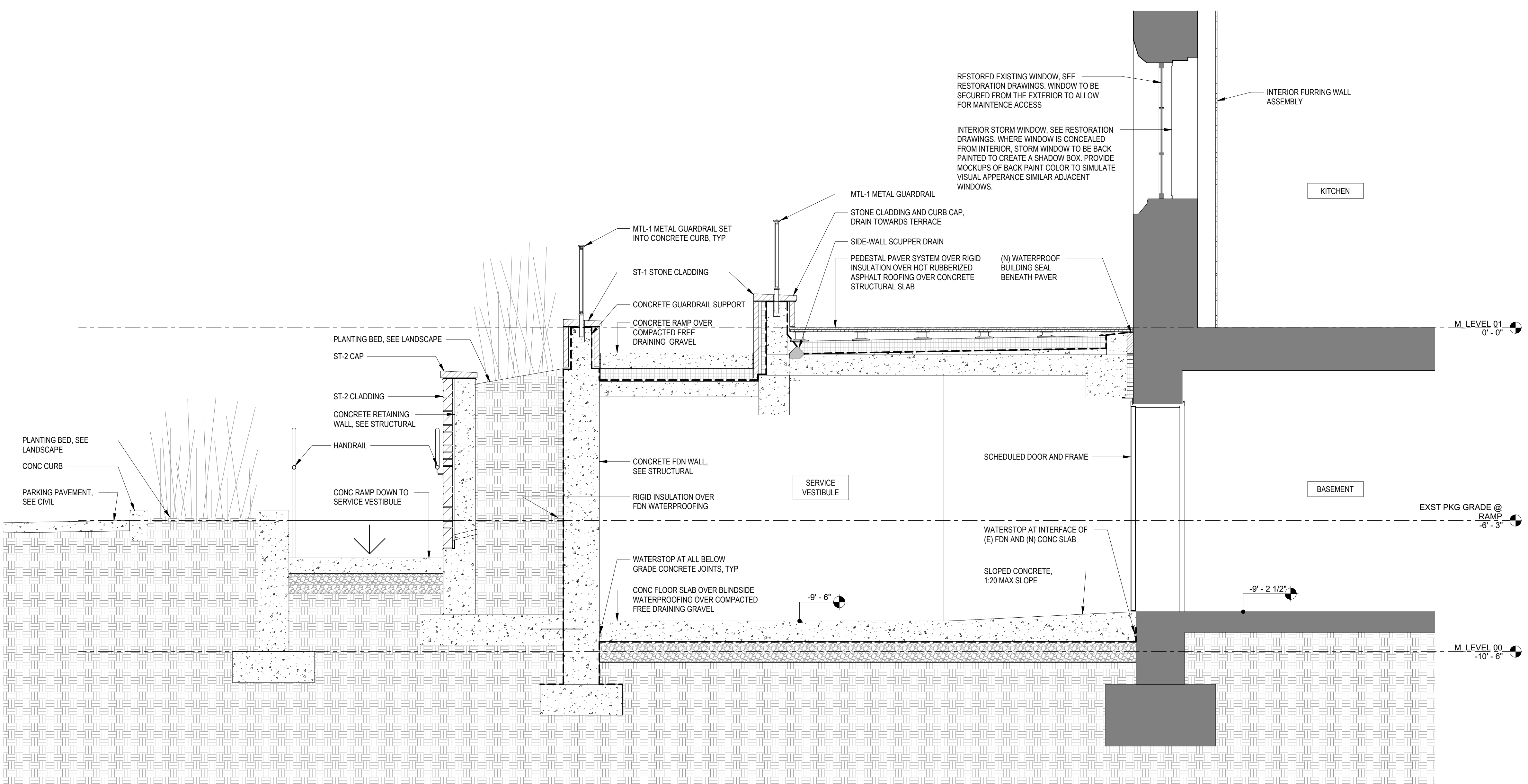
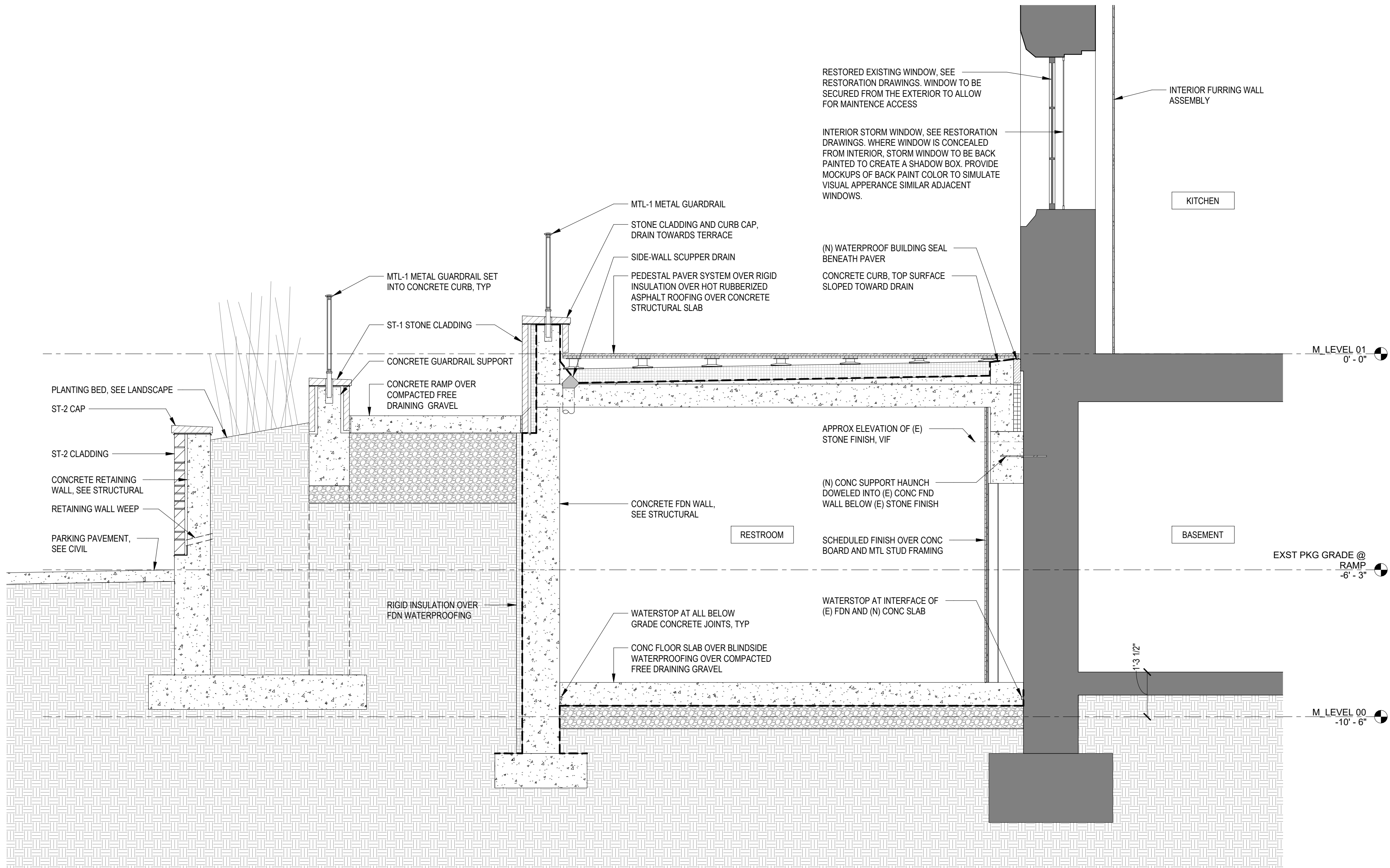
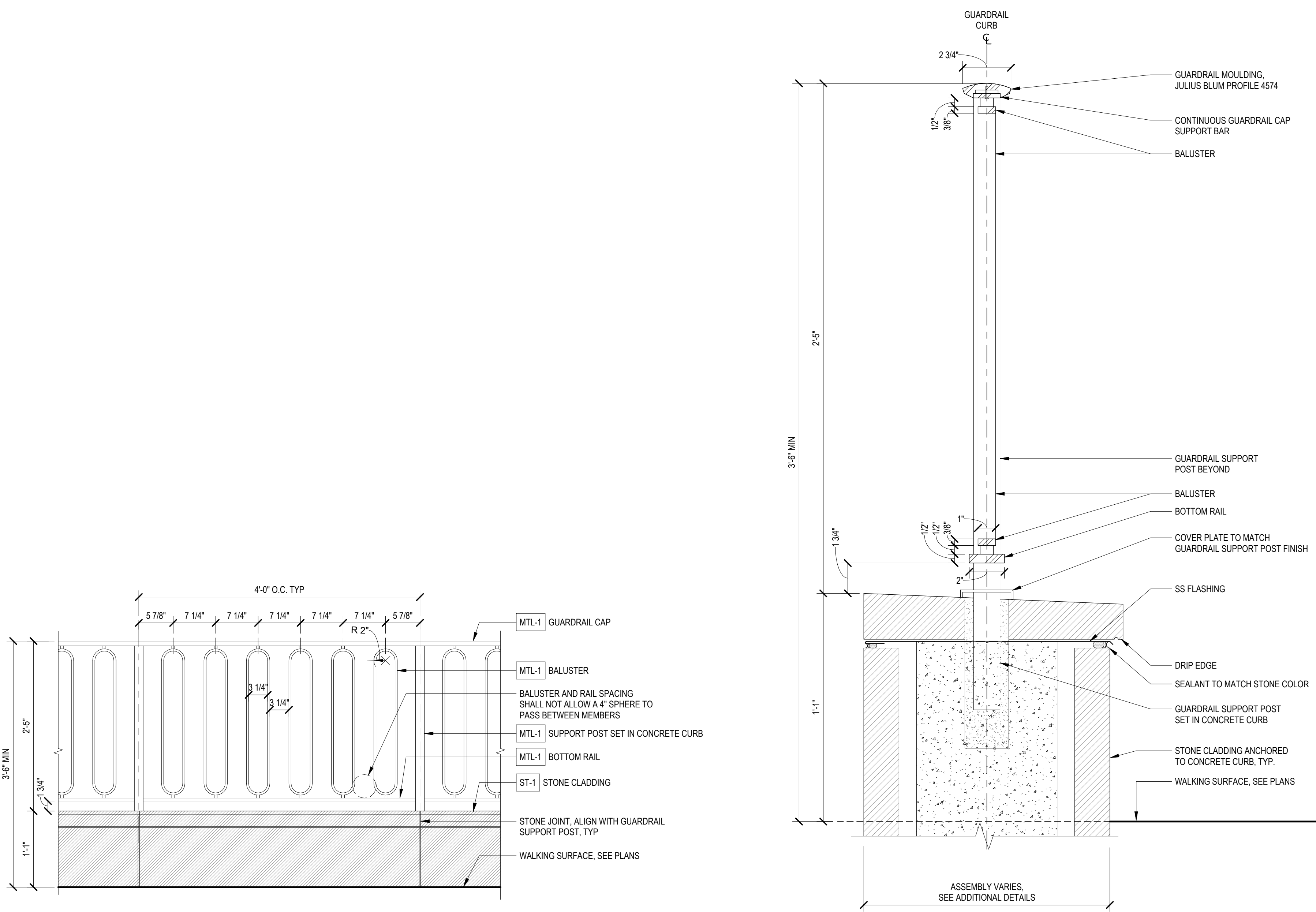
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2 ENLARGED PLAN - LEVEL 0 RESTROOMS
1/4" = 1'-0"



1 ENLARGED PLAN - LEVEL 1 TERRACE
1/4" = 1'-0"



#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2026.08.17

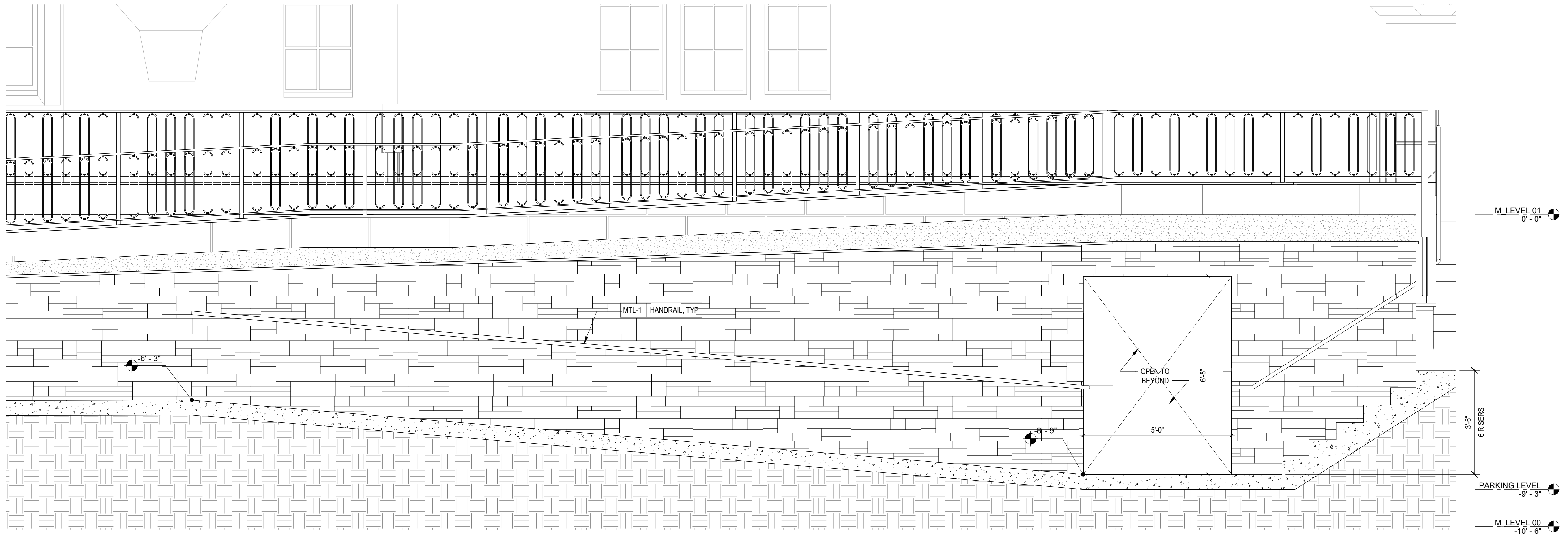
PROFESSIONAL OF RECORD

PROJECT NUMBER: 250401
SHEET NAME

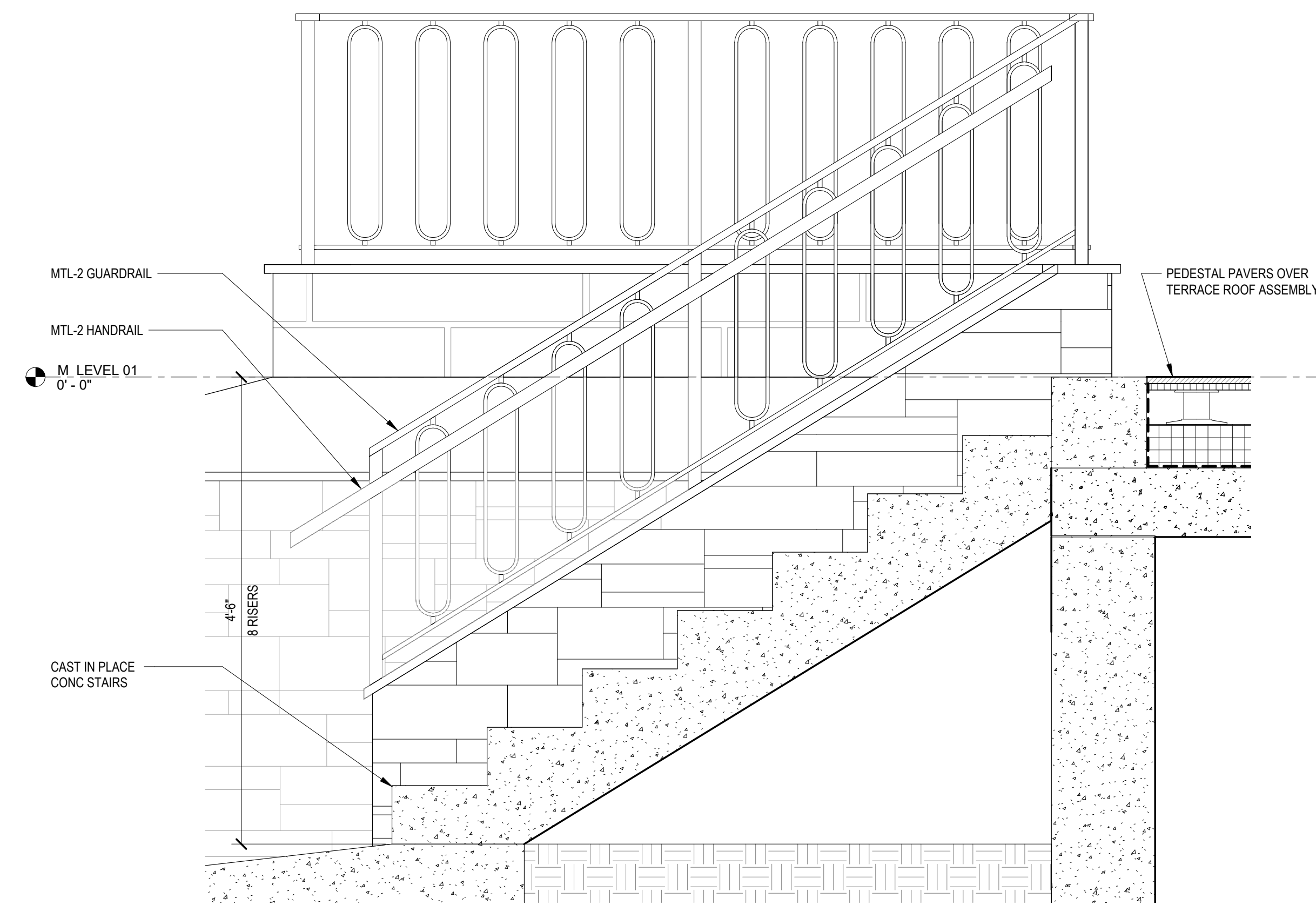
ENLARGED PLANS,
ELEVATIONS &
SECTIONS -
EXTERIOR STAIRS

SHEET NUMBER

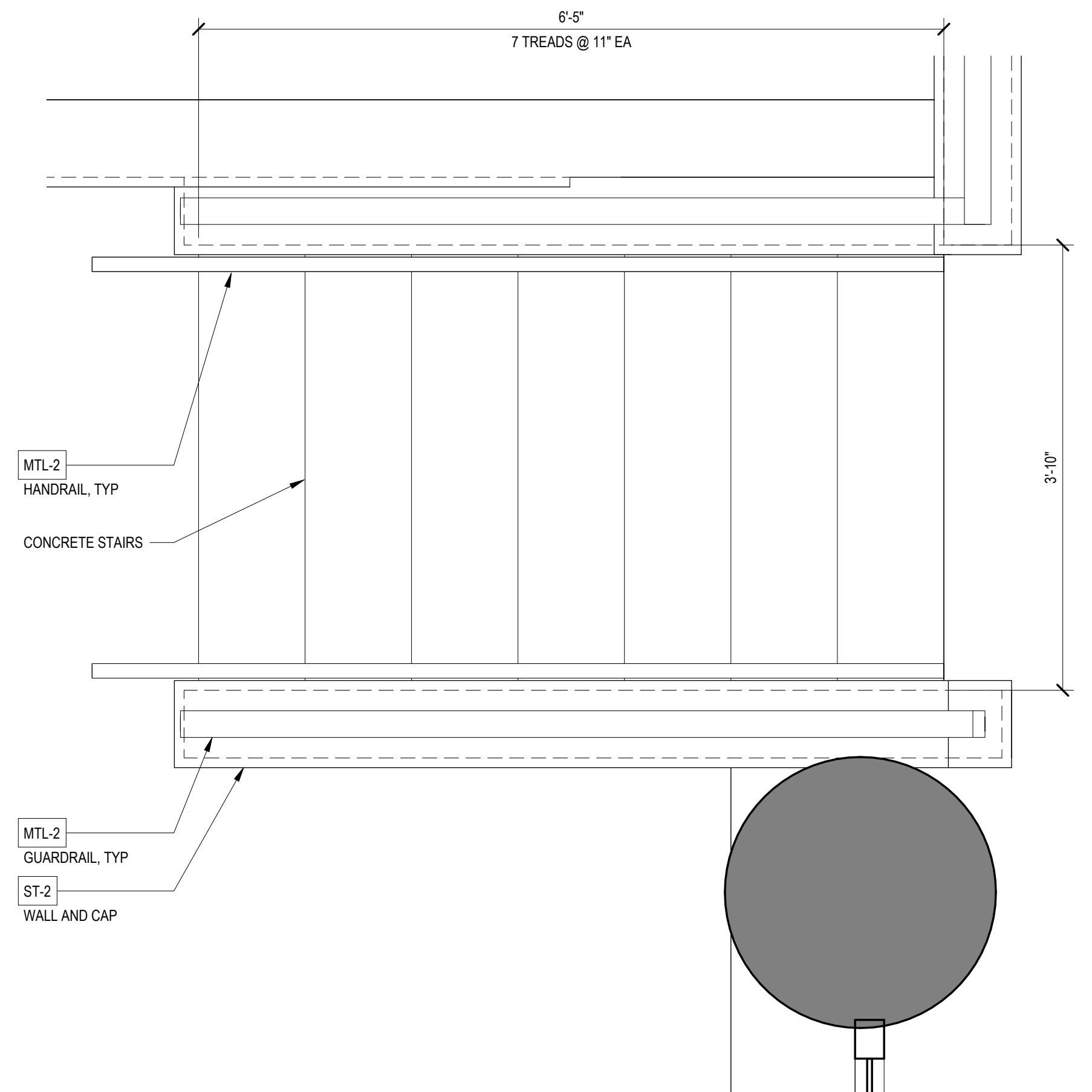
A2.33



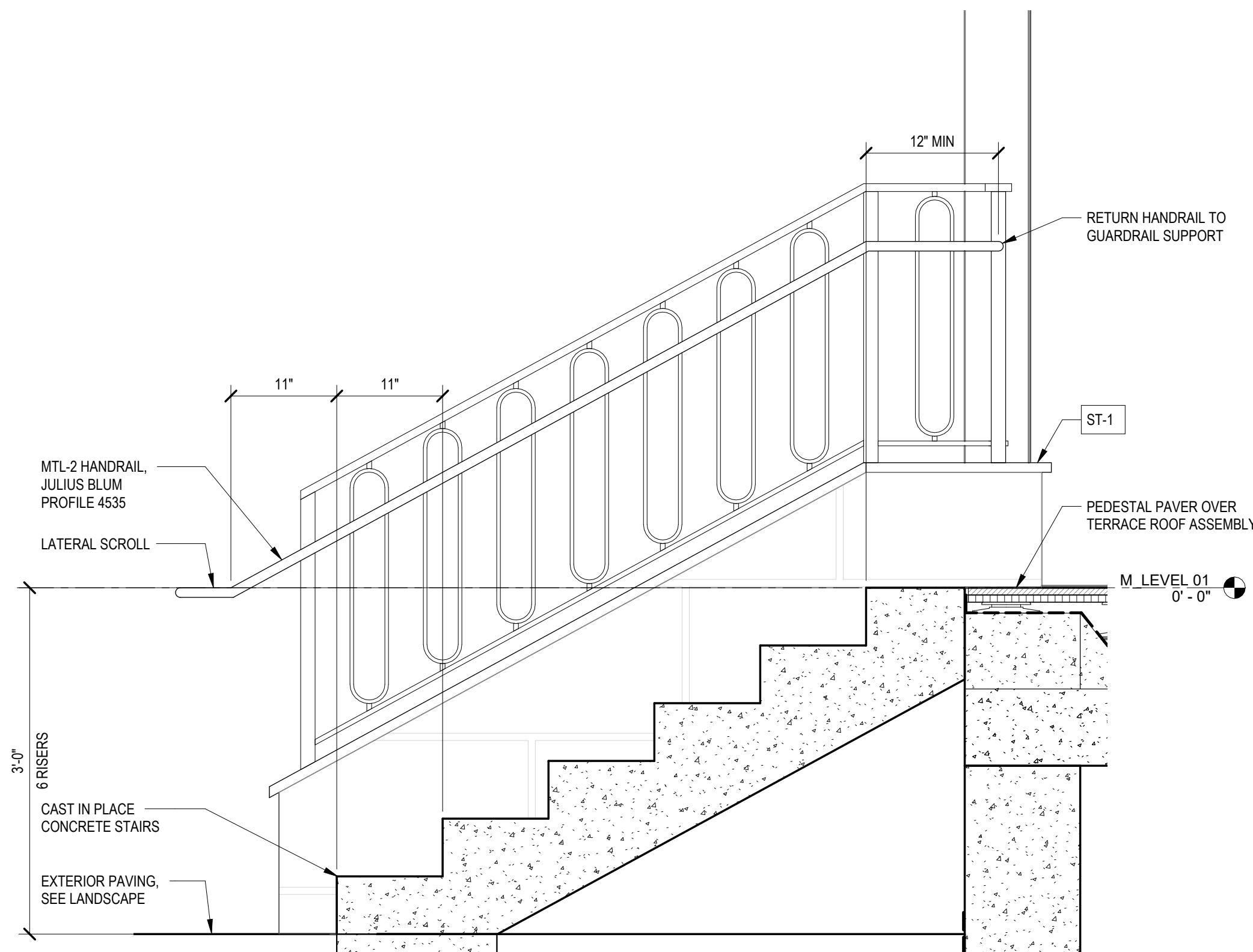
5 SECTION @ ACCESSIBLE RAMP AND STAIR TO LEVEL 0
1/2" = 1'-0"



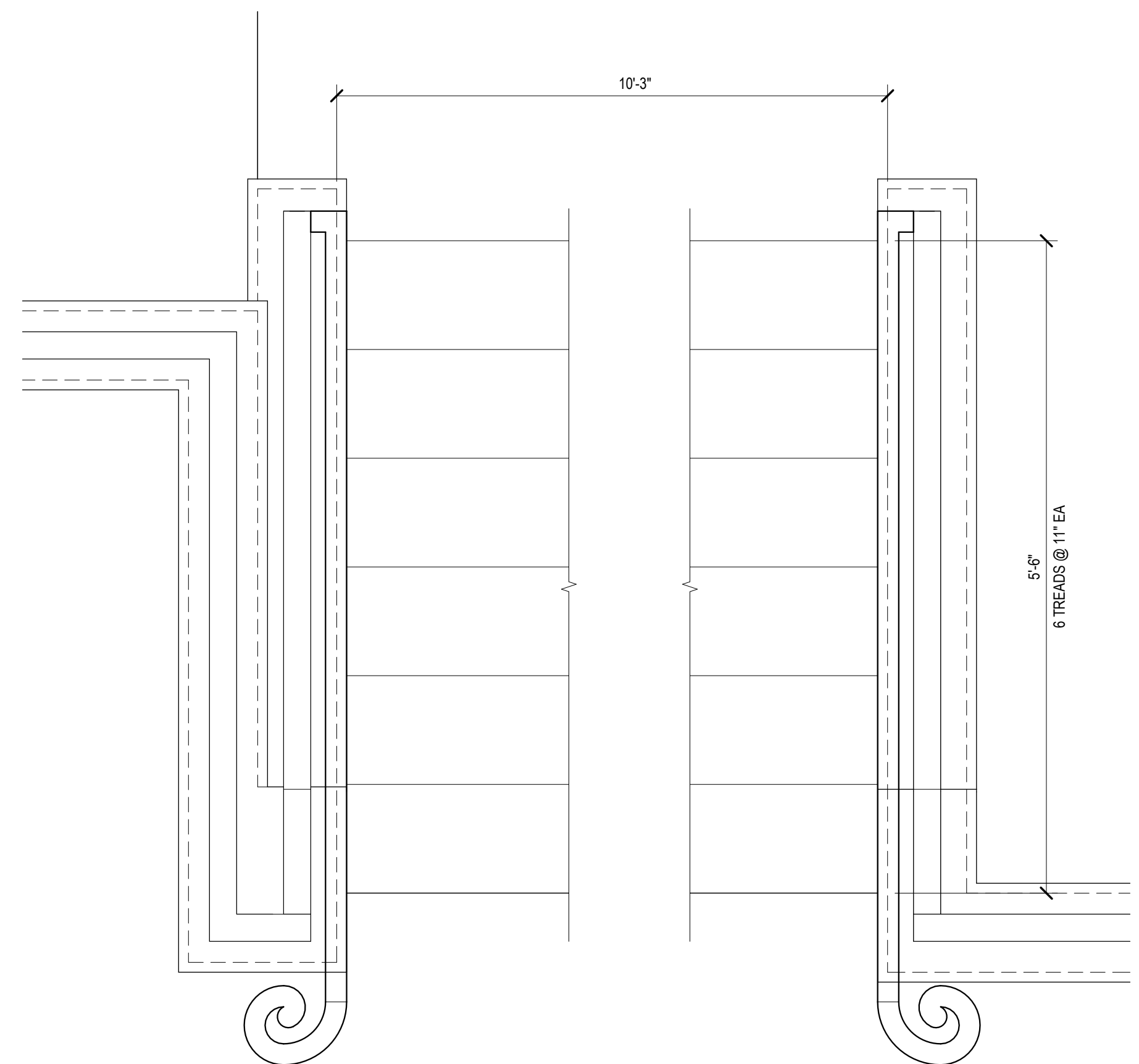
4 SECTION @ ICE CREAM SHOP 1-109 STAIR
1" = 1'-0"



3 ENLARGED PLAN @ ICE CREAM SHOP 1-109 STAIR
1" = 1'-0"



2 SECTION @ TERRACE 1-112 STAIR
1" = 1'-0"



1 ENLARGED PLAN @ TERRACE 1-112 STAIR
1" = 1'-0"

#	DESCRIPTION	DATE
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02	CERT. OF APPROPRIATENESS	2026.08.17
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PROFESSIONAL OF RECORD

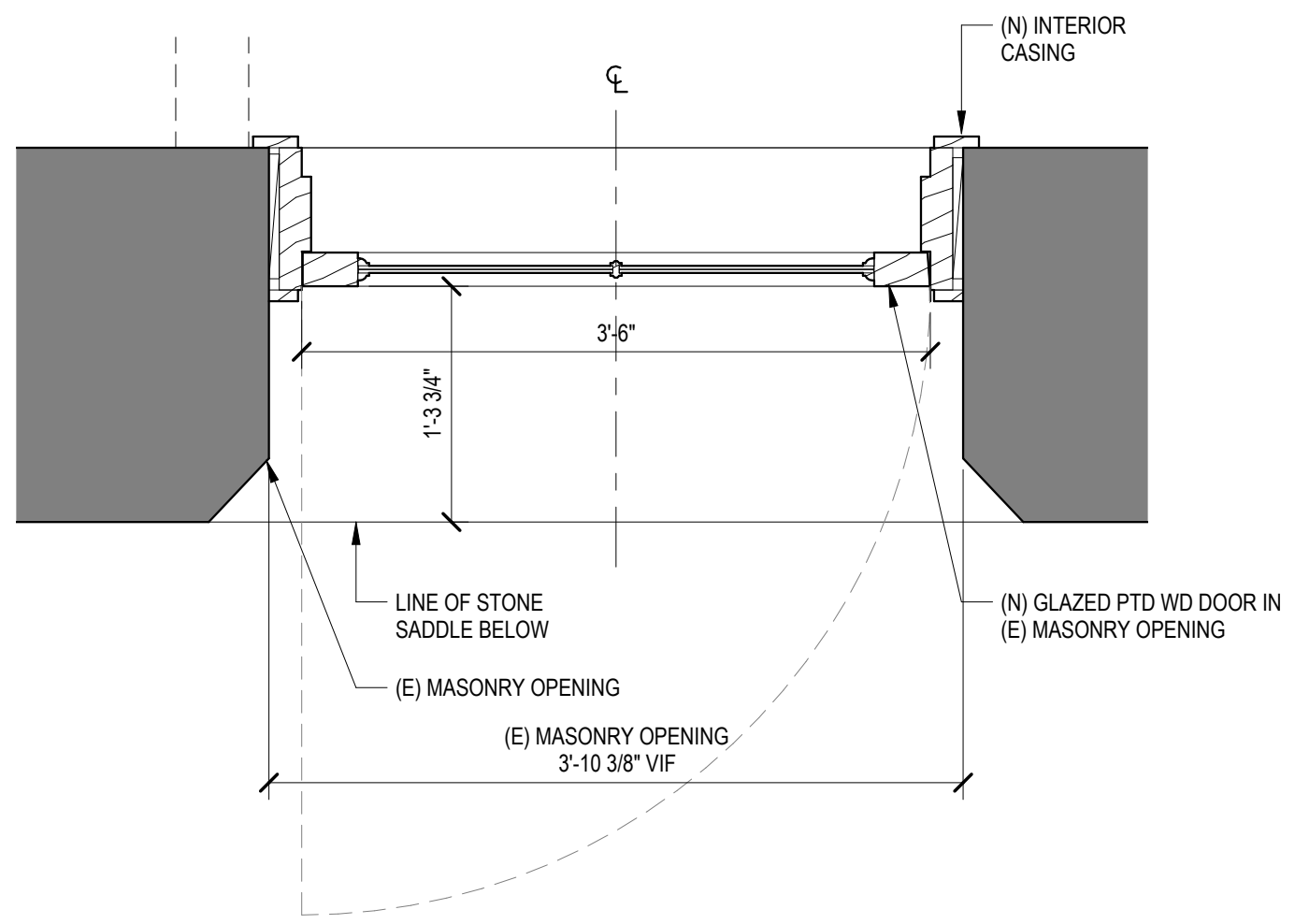
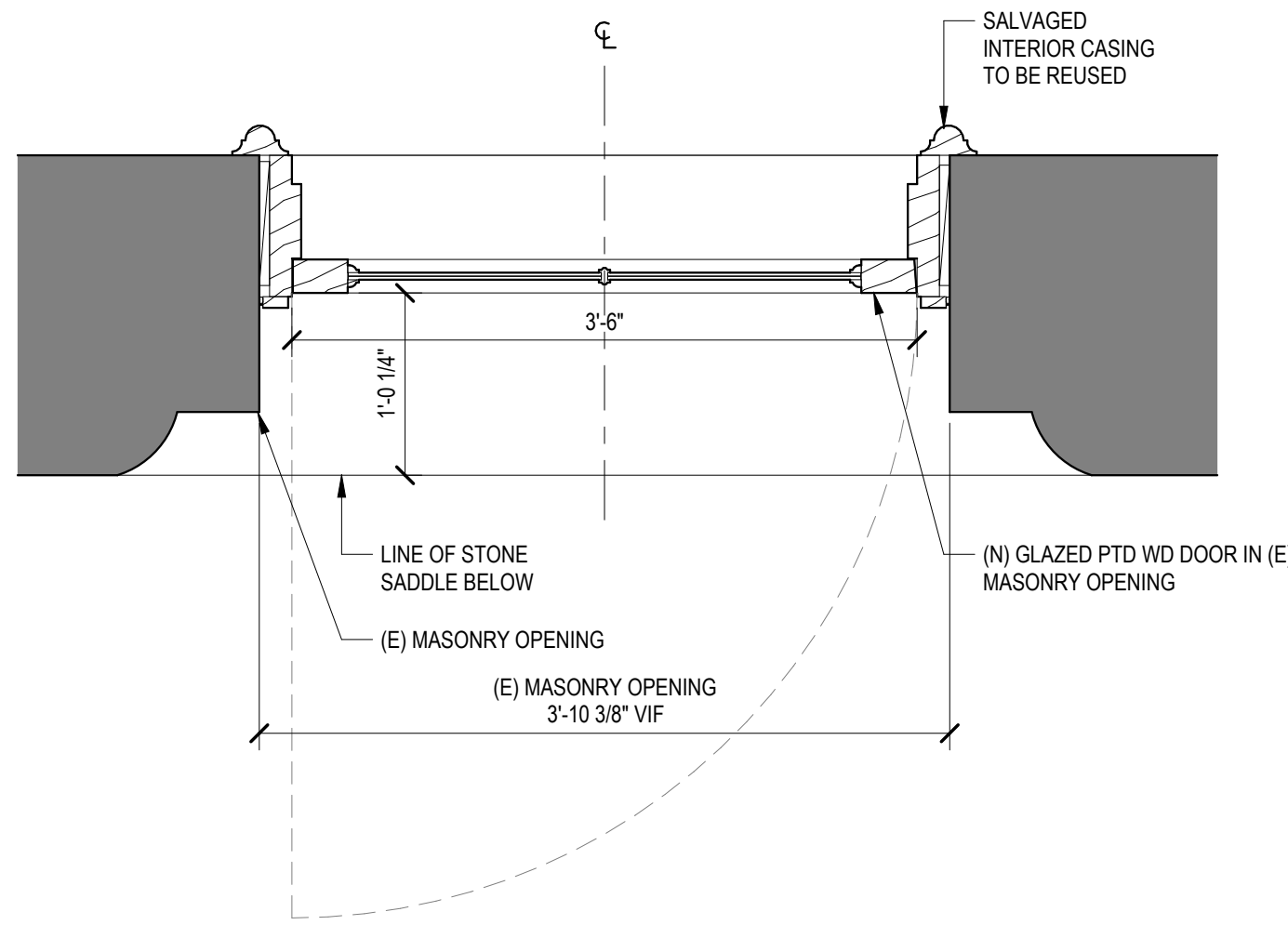
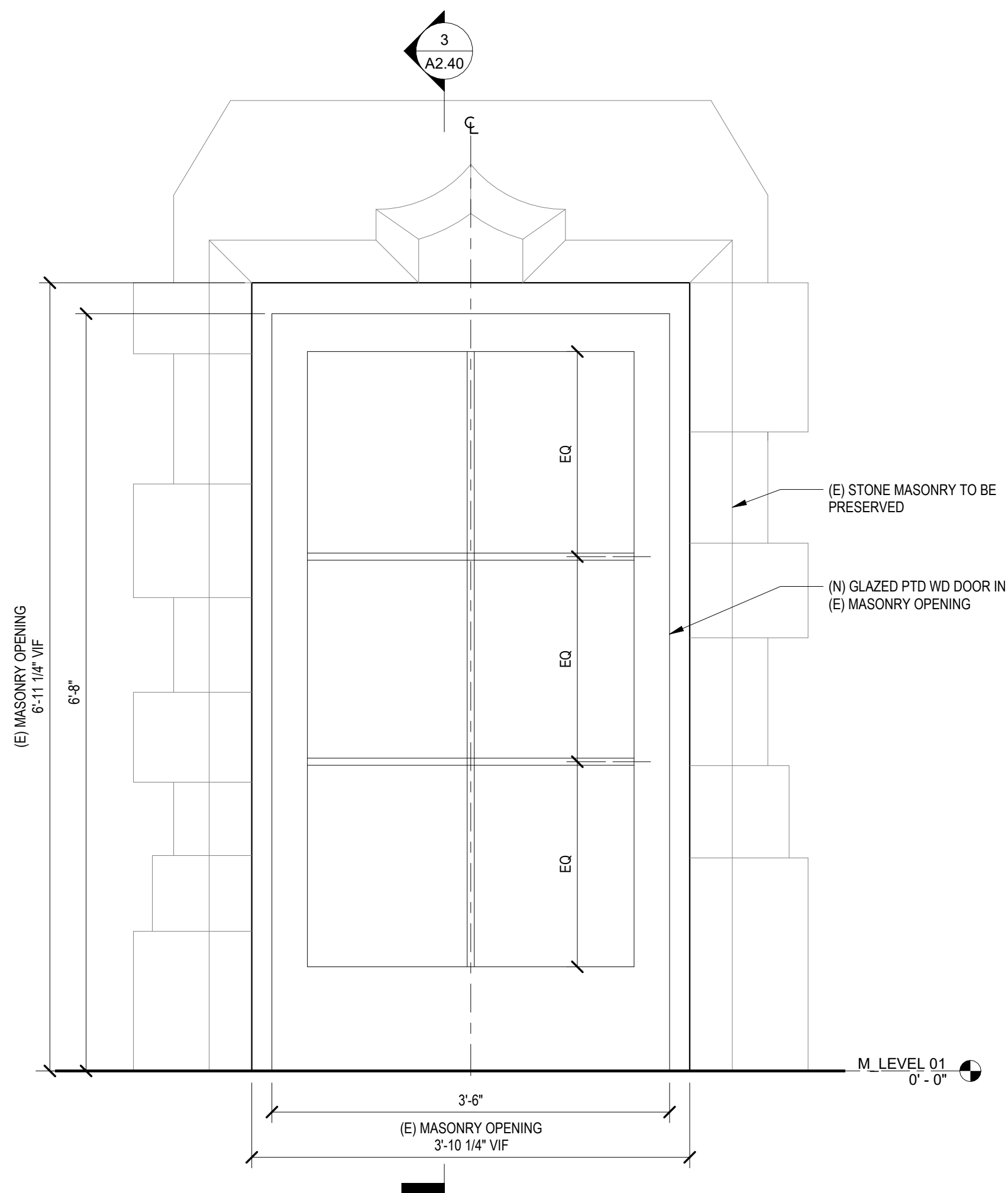
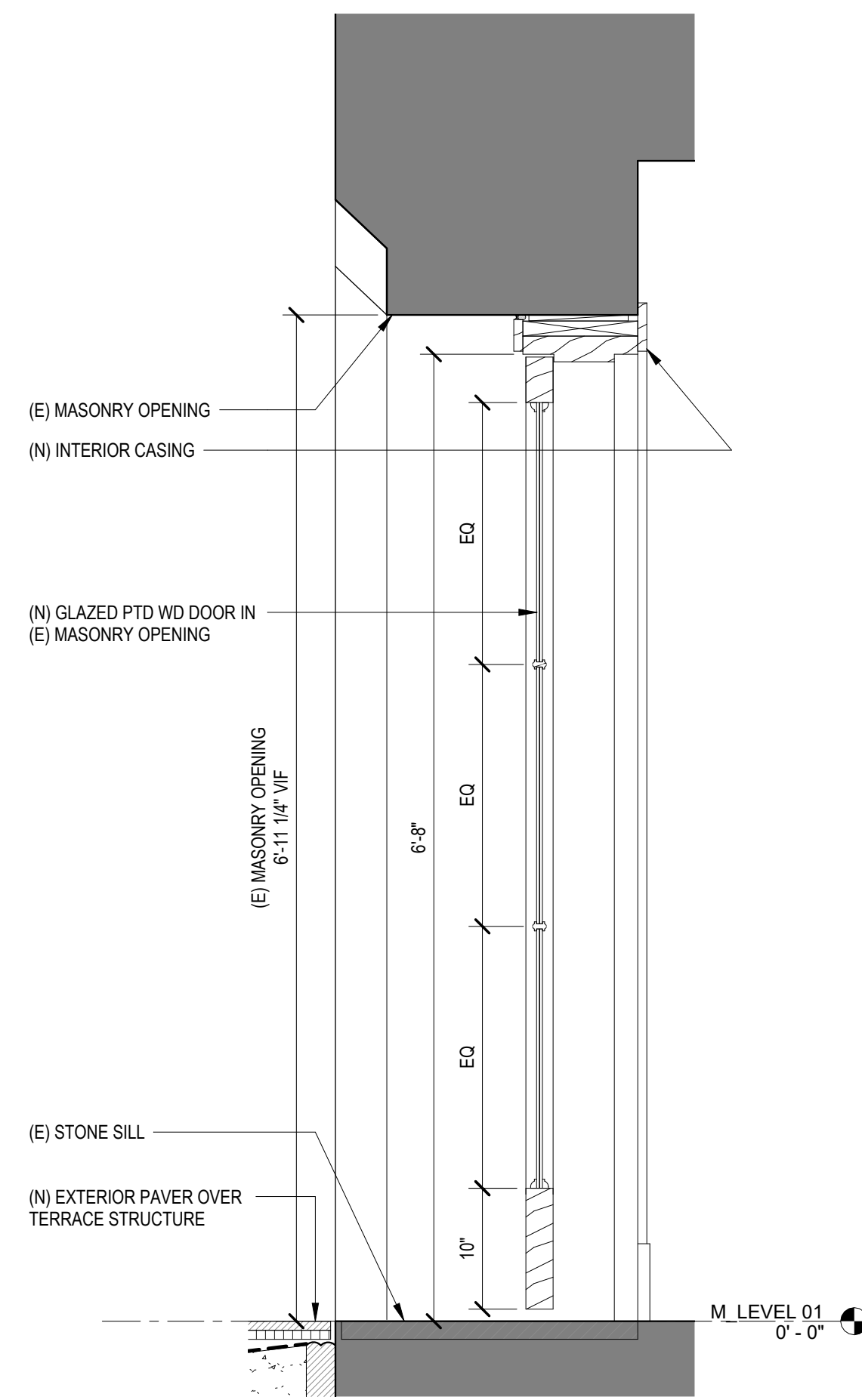
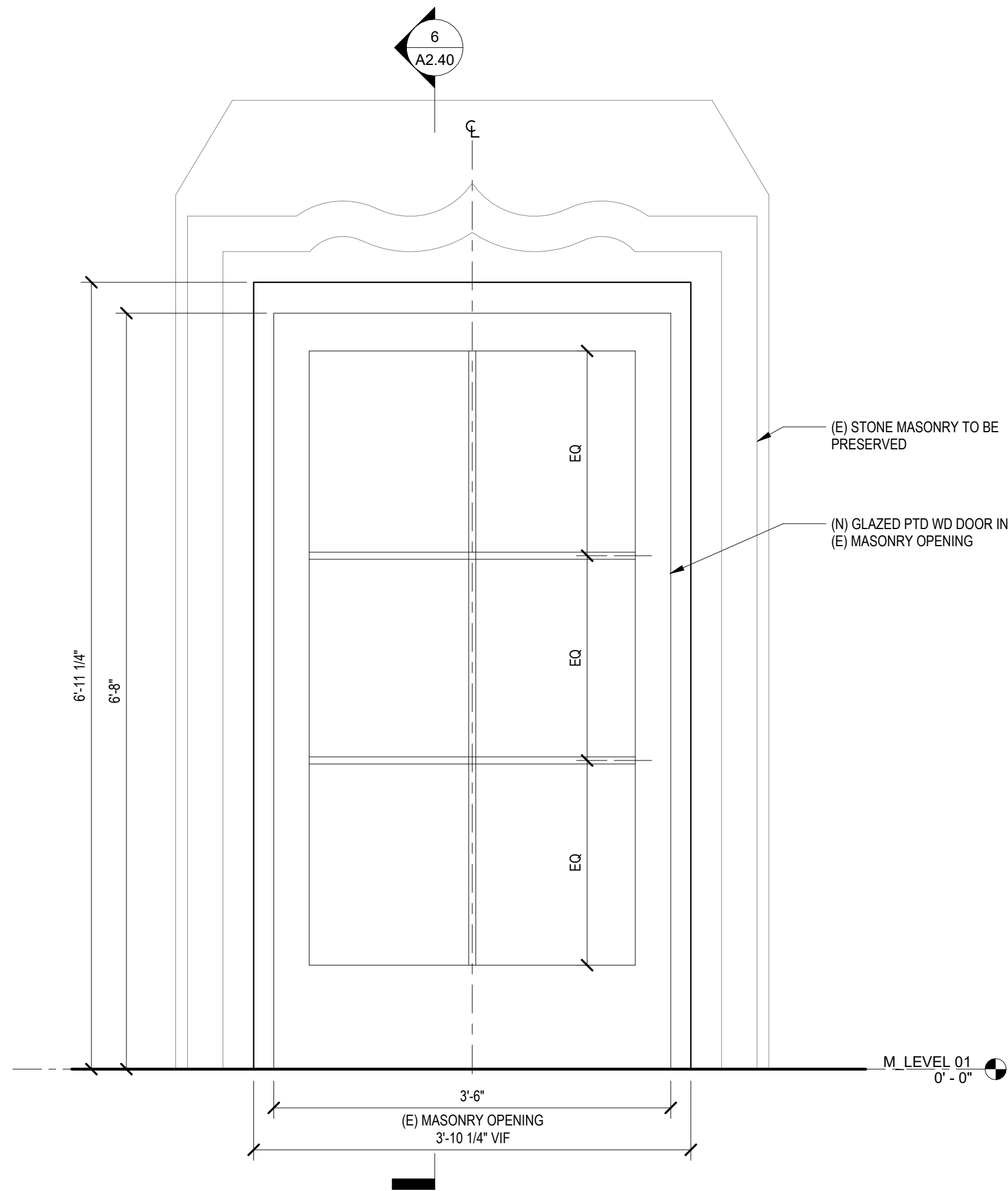
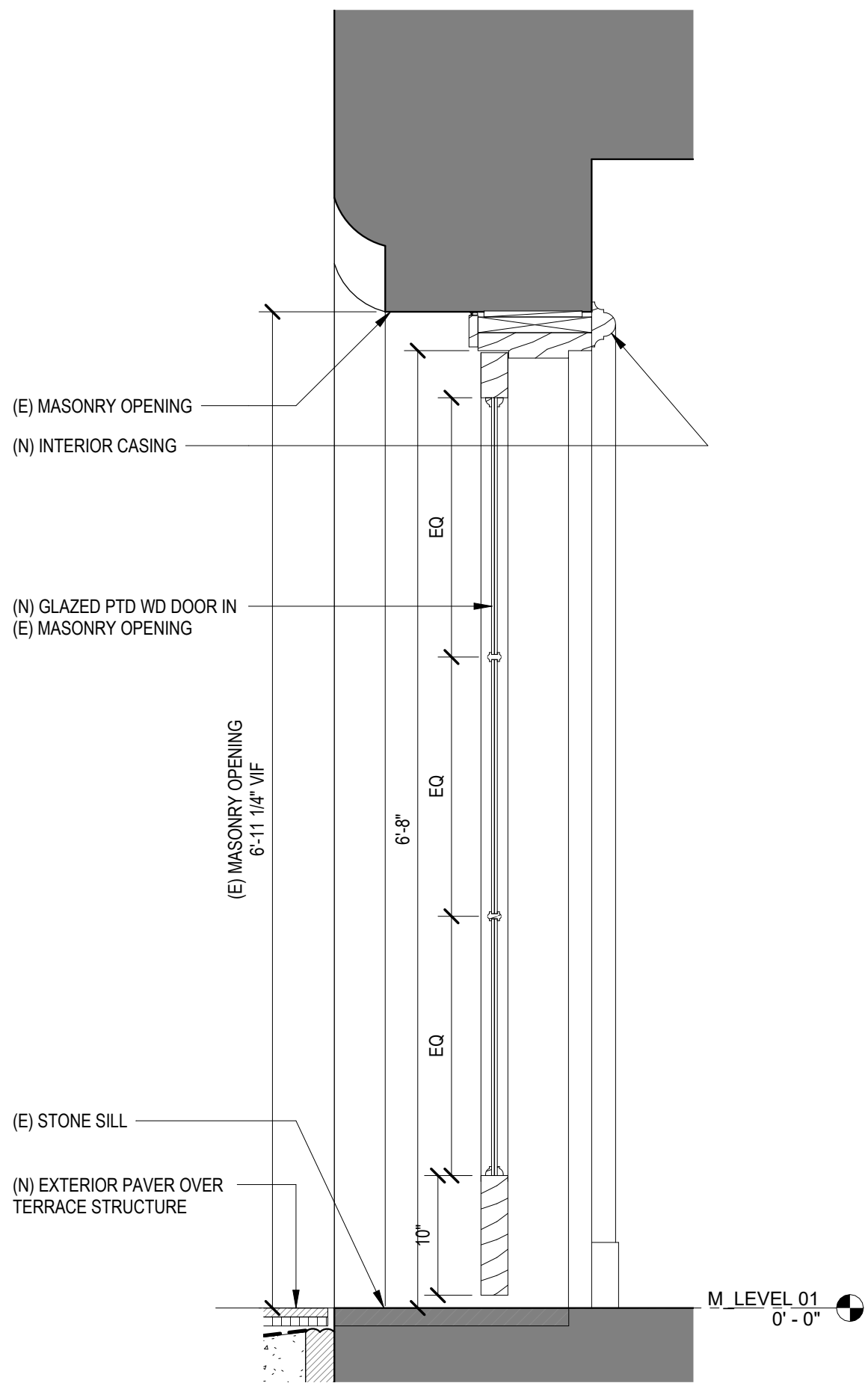
PROJECT NUMBER: 250401

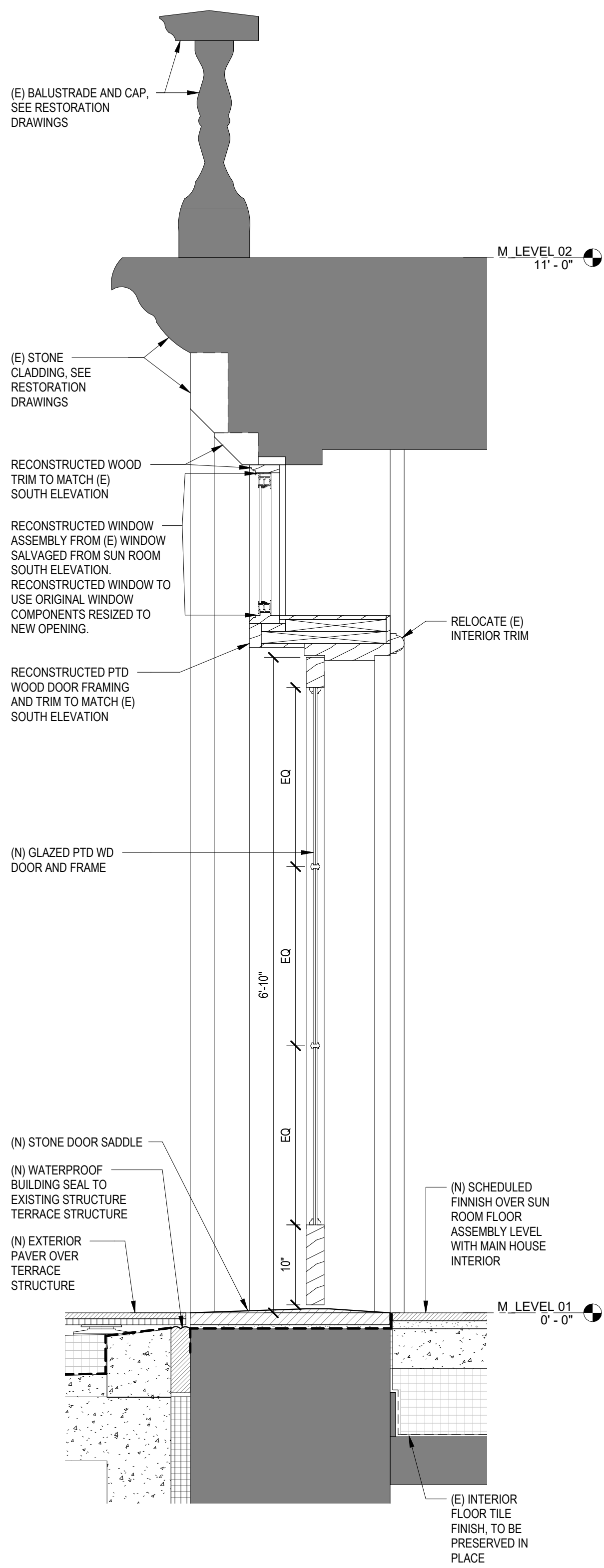
SHEET NAME

ENLARGED PLANS,
ELEVATIONS &
SECTIONS -
TERRACE DOORS

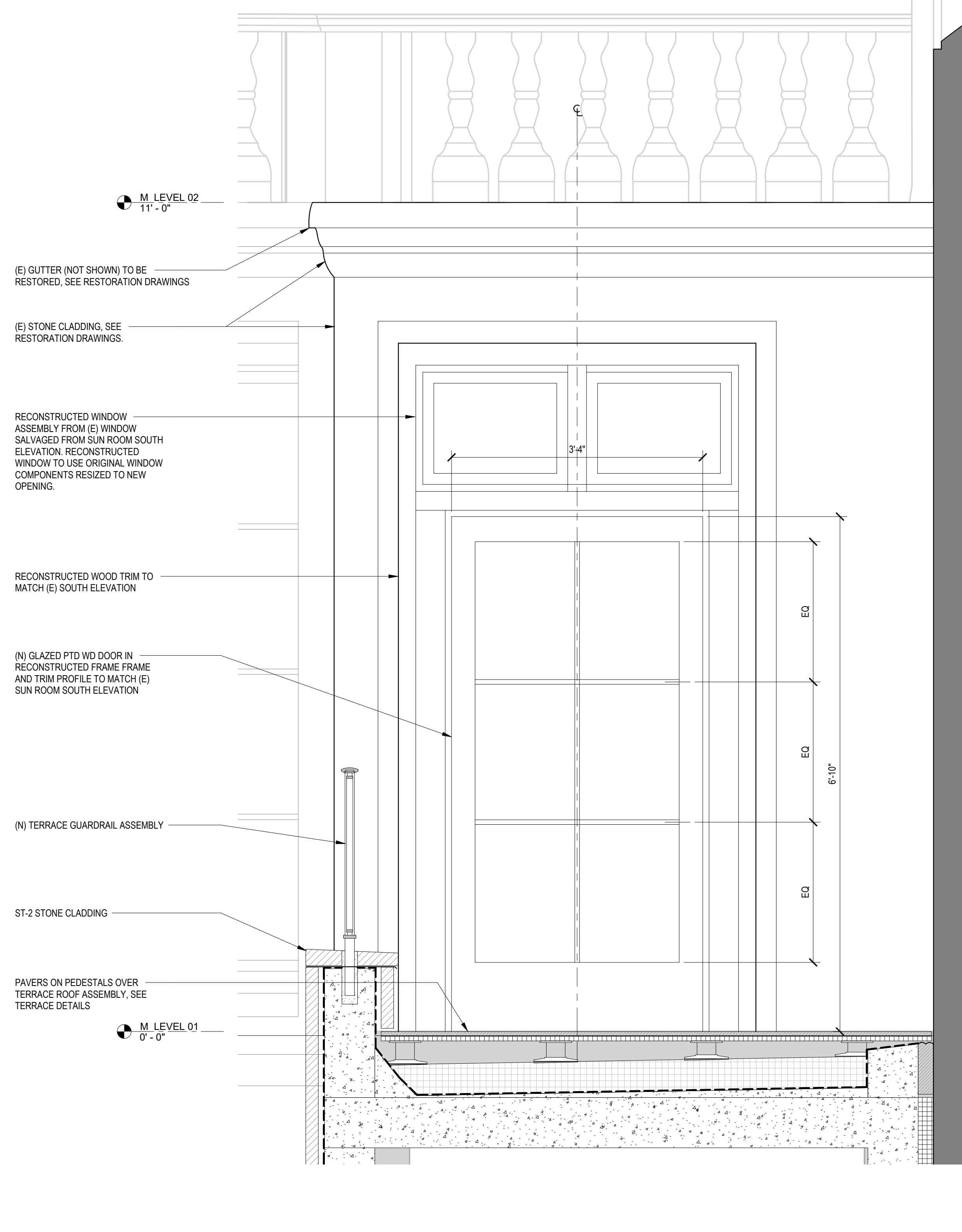
SHEET NUMBER

A2.40

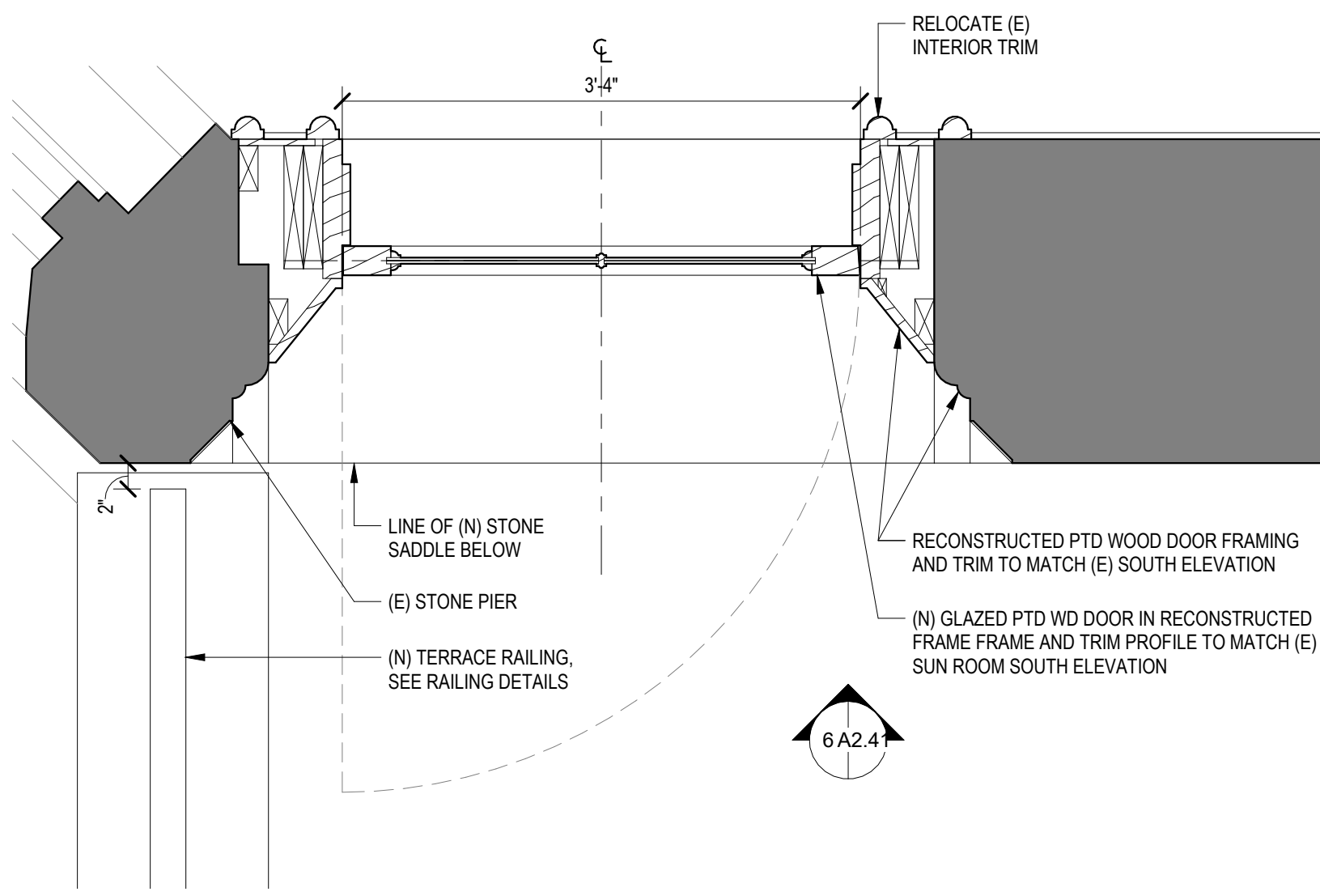




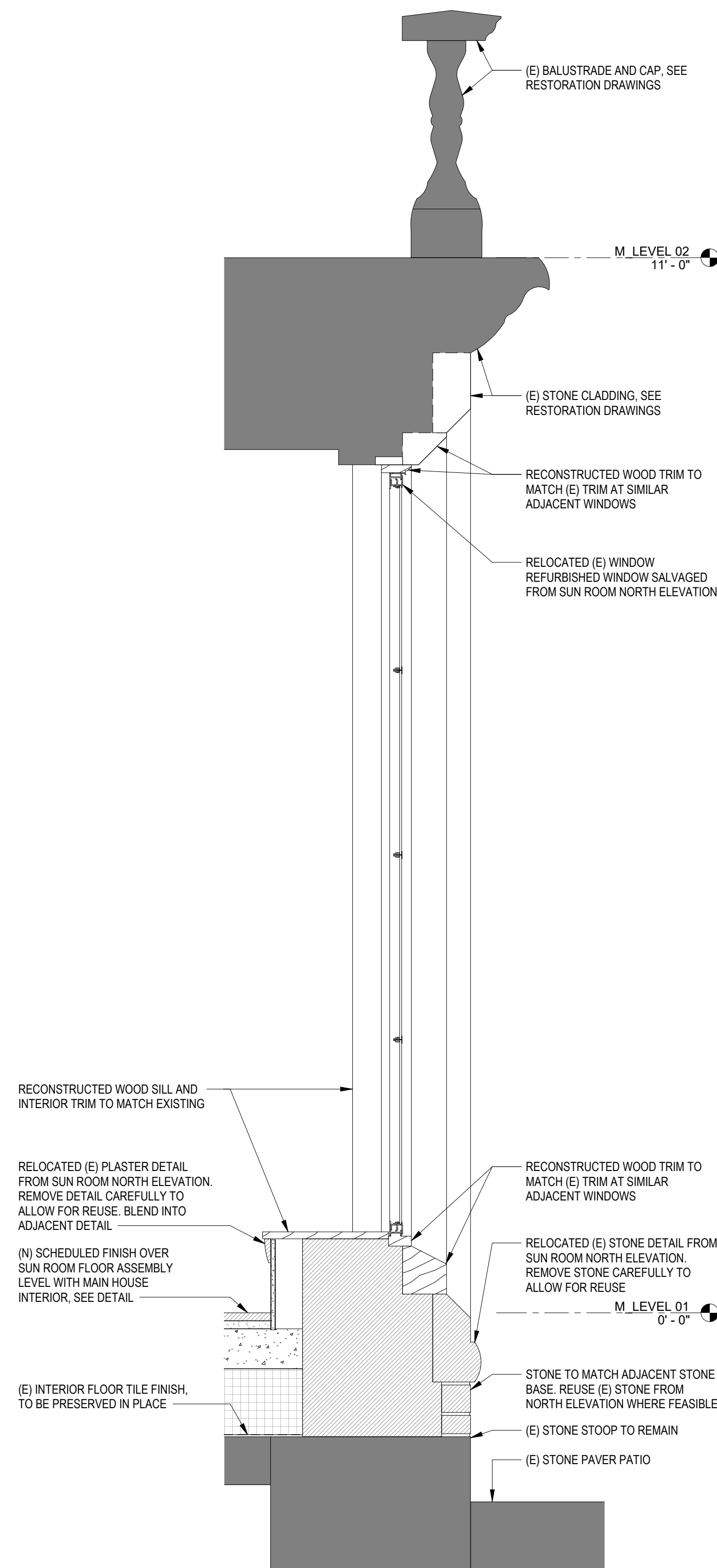
7 SECTION DETAIL @ DOOR E1-104B
1" = 1'-0"



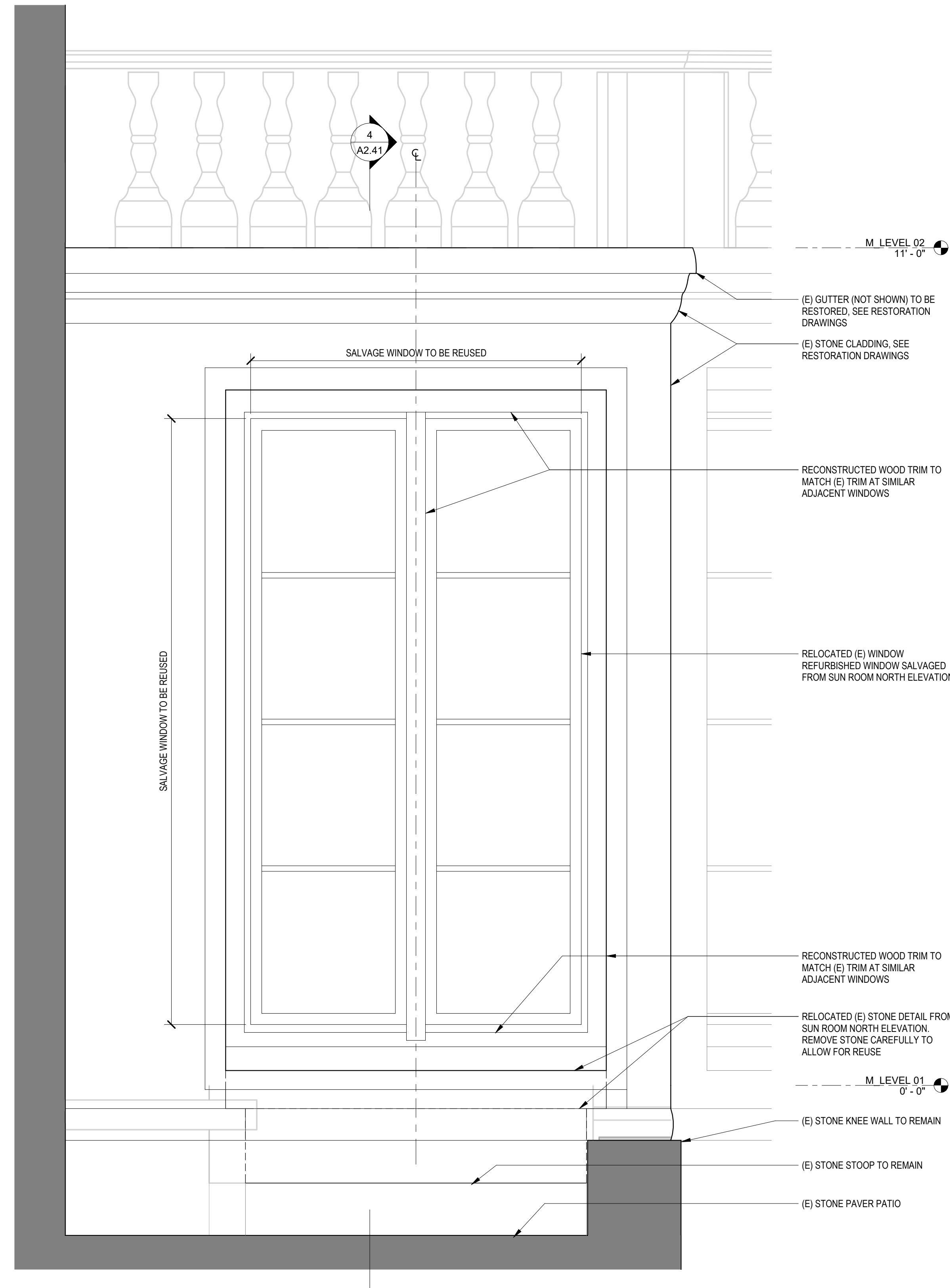
6 ENLARGED ELEVATION @ DOOR 1-104B
1" = 1'-0"



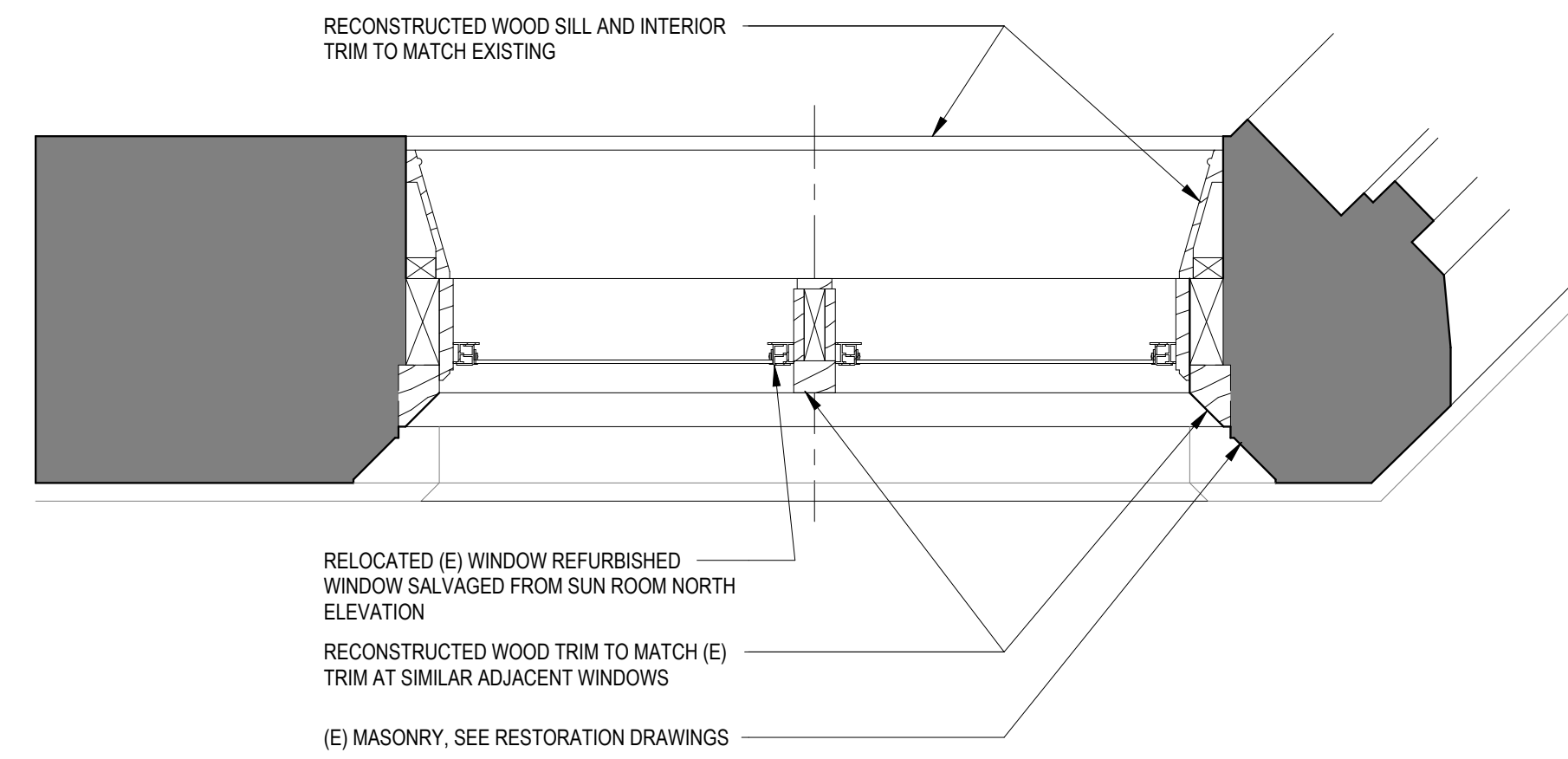
5 ENLARGED PLAN @ DOOR E1-104B
1" = 1'-0"



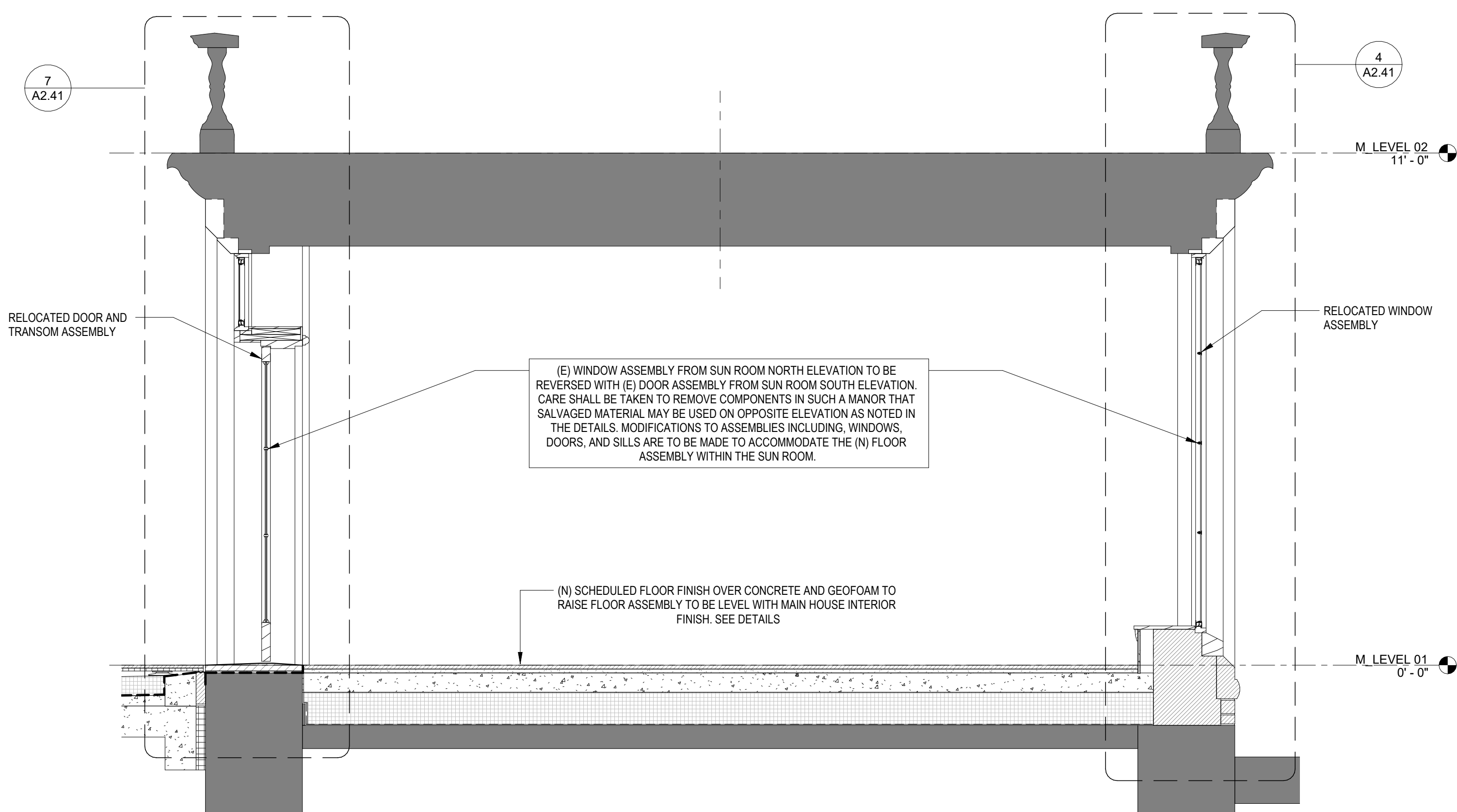
4 SECTION DETAIL @ SUN ROOM WINDOW
1" = 1'-0"



3 ENLARGED ELEVATION @ SUN ROOM WINDOW
1" = 1'-0"



2 ENLARGED PLAN @ SUN ROOM WINDOW
1" = 1'-0"



1 SECTION - NORTH/SOUTH LOOKING EAST - SUN ROOM 1-104
1/2" = 1'-0"

#	DESCRIPTION	DATE
02	CERT. OF APPROPRIATENESS	2026.08.

PROFESSIONAL OF RECORD

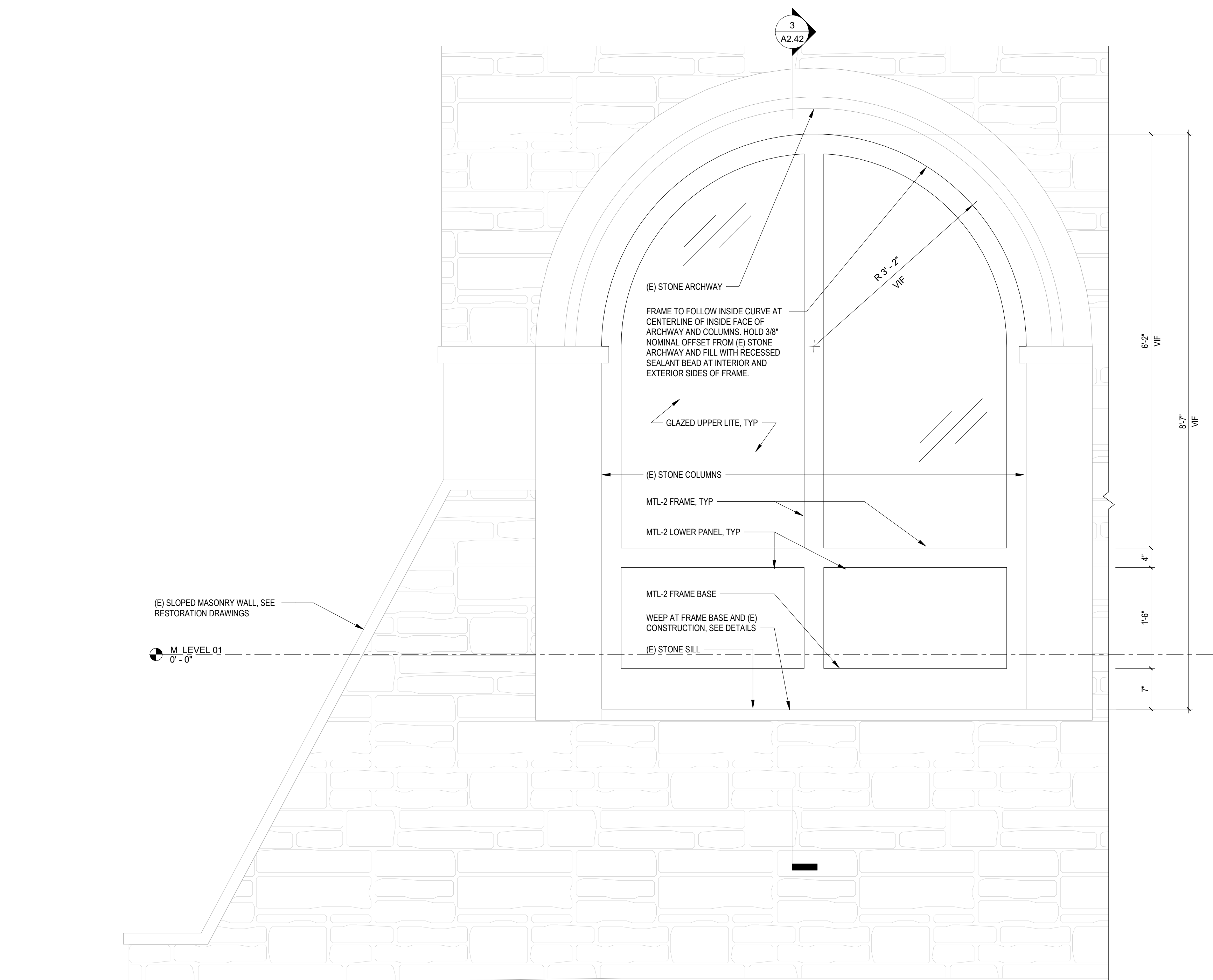
PROJECT NUMBER: 250401

ENLARGED PLANS,
ELEVATIONS &
SECTIONS - PORCH

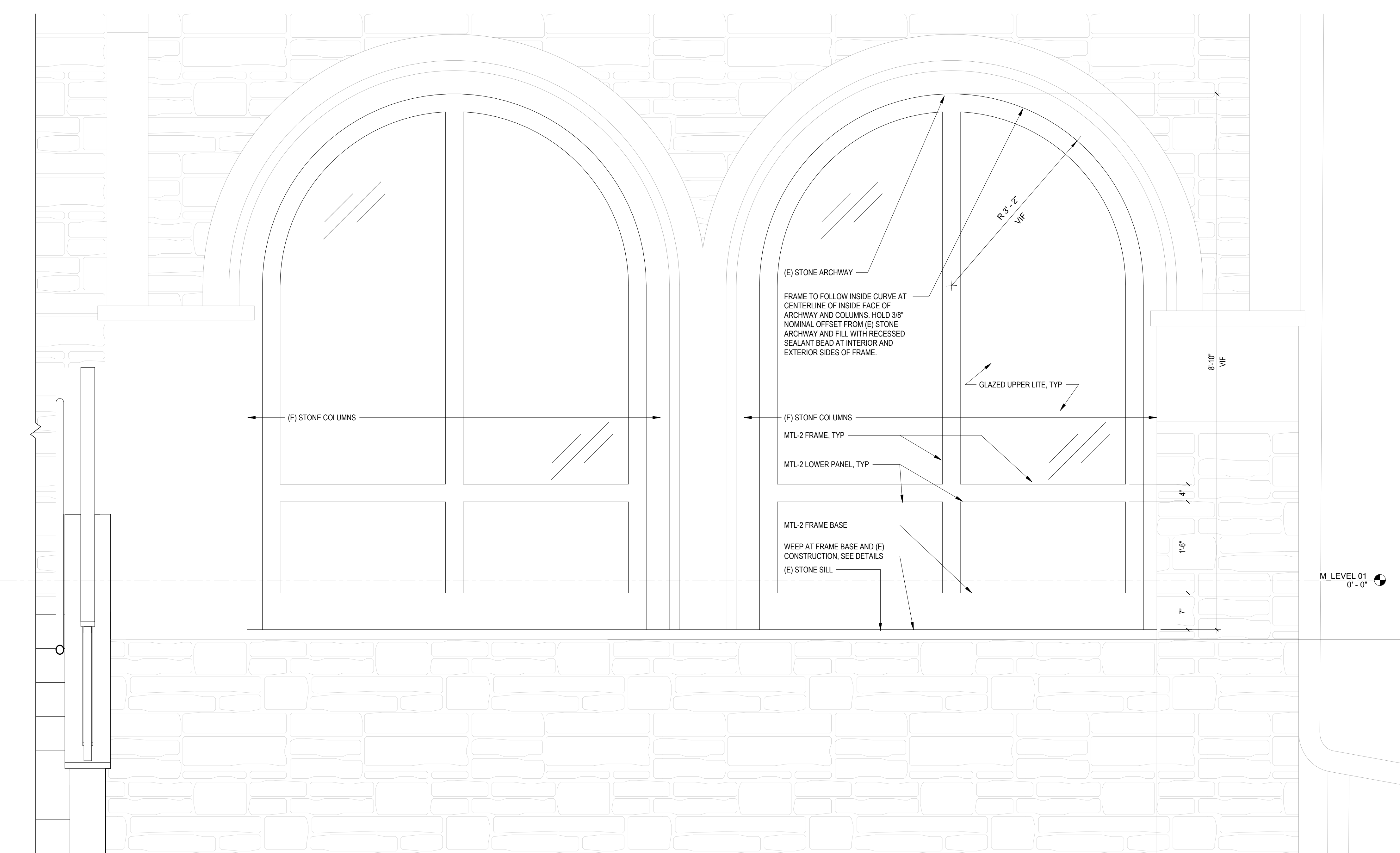
SHEET NUMBER

A2.42

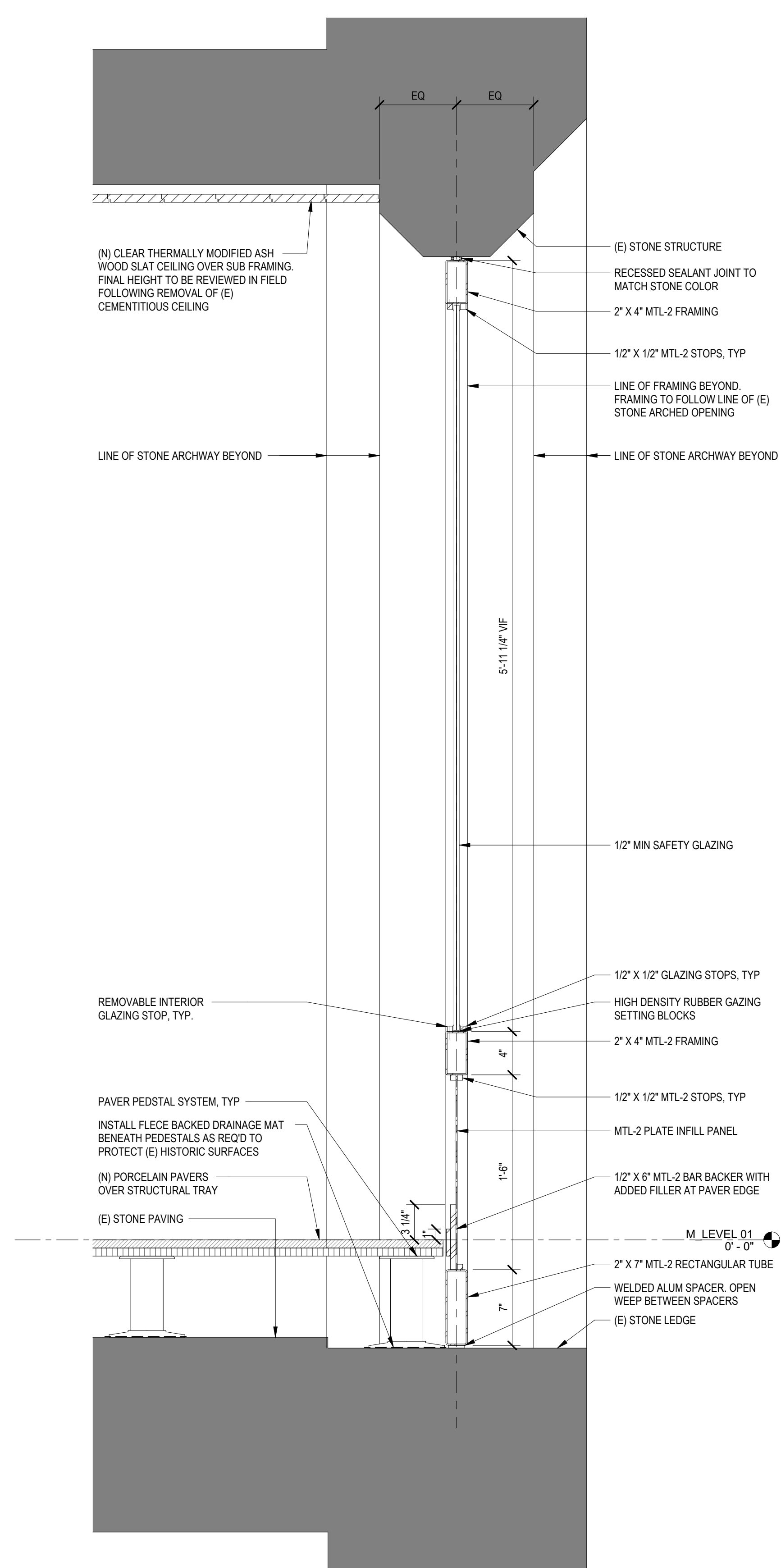
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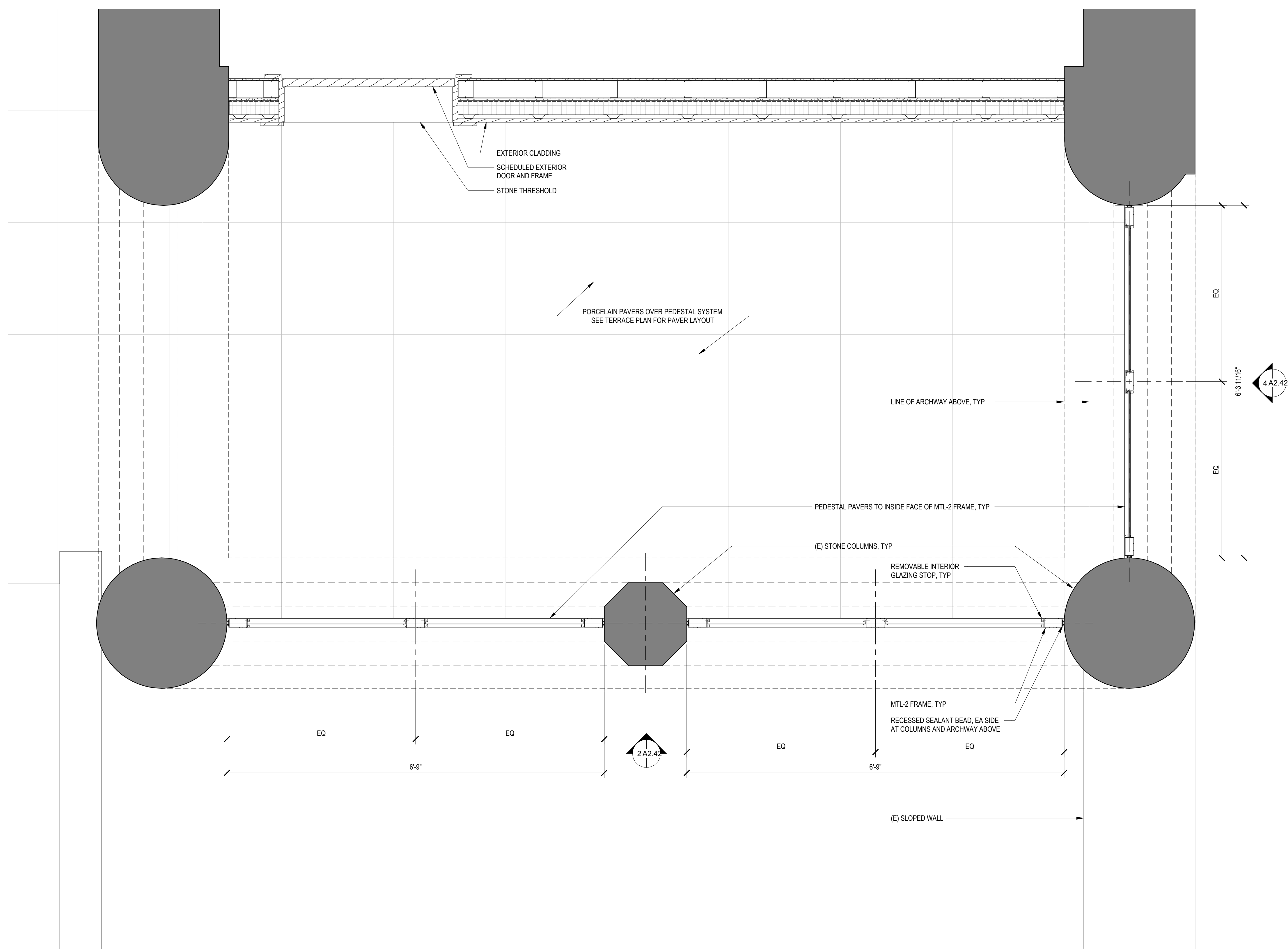
4 ENLARGED ELEVATION - LOOKING EAST @ ICE CREAM SHOP 1-112
1" = 1'-0"



2 ENLARGED ELEVATION - LOOKING SOUTH @ ICE CREAM SHOP 1-112
1" = 1'-0"



3 SECTION @ ICE CREAM SHOP 1-112 PORCH WINDOW
1 1/2" = 1'-0"



1 ENLARGED PLAN @ ICE CREAM SHOP 1-112
1" = 1'-0"